

Shetland



Action Programme

2018 / 2019

Contents page:

Action Programme Introduction	Page	1
Residential Sites	Pages	5 - 77
Industrial Sites	Pages	79 - 95
Mixed Use Sites	Pages	96 - 101
Sites list by area	Pages	102 - 103

Action Programme

Introduction

This Action Programme identifies the actions which will be required in order to deliver the key policies and proposals detailed in the Shetland Local Development Plan (LDP), responsibilities for carrying out the identified actions and timescales for the development to be completed.

Whilst the Town and Country Planning (Development Planning) (Scotland) Regulations 2008 do not specify the particular types of action that should be included in the plan, it is expected that these will include the delivery of key infrastructure and the preparation of supplementary guidance. Actions are not limited to those by the Planning Authority.

Action Programmes are required to be published alongside the LDP. The Local Authority will keep it under continuous review. The Action Programme will be updated and published annually, along with the Housing Land Audit and Employment Land Audit.

When determining responsibility for delivering a number of policies within the Action Programme the SIC is predominantly identified as the lead agent. This reflects the role of the SIC Planning Service in implementing the policies of the LDP.

The term developer(s) may refer to private companies, community organisations, other public bodies, or private individuals.

When identifying timescales for delivery of actions the following timelines have been adopted:

- Ongoing (By their nature the actions to deliver some policies or proposals will be ongoing, in that they apply continuously.)
- short (1-5 years)
- medium (5-10 yrs)
- long (10yrs +)

This Action Programme monitors the development on Sites with Development Potential from when the plan was approved in October 2012 up to 31 April 2019.



Local Development Plan Actions

Local Development Plan Actions

ACTION	POLICY REFERENCE	RESPONSIBILITY	TIMESCALE	STATUS
Monitoring planning decisions to examine extent to which LDP policies are being implemented	All LDP policies: General Policies GP1-GP3 Natural Heritage NH1-NH6 Historic Environment HE1-HE6 Housing H1-H8 Economic Development ED1-ED3 Transport TRANS1-TRANS3 Waste W1-W5 Water & Drainage WD1-WD3 Community Facilities CF1-CF2 Renewable Energy RE1 Minerals M1 Coastal Development CST1	Development Plans and Heritage Team to establish monitoring procedures informed by Development Management decisions and utilising back office system information.	Ongoing	Since the LDP was adopted in September 2014 we have continually monitored the usage of our policies on planning applications. We have recently started an in-house consultation with Development Management regarding the usage of the policies. This consultation looks at how the policies have been used. It also highlights any issues or gaps that have been found throughout their usage of the plan since it was approved by Council in October 2012. Data regarding the policies that have been used since the LDP was approved in 2012 has been extracted from our back office system (Uniform) and used to analyse policy usage.

Supplementary Guidance

The LDP is supported by a number of Supplementary Guidance documents and the table below shows the current position on all existing SG. The Marine Spatial Plan SG and Local Nature Conservation Sites SG are both fully adopted. All supplementary guidance can be downloaded from our website: www.shetland.gov.uk/ldp.

Supplementary Guidance

The LDP is supported by a number of Supplementary Guidance (SG) documents and the table below shows the current position on all existing SG. The Marine Spatial Plan SG and Local Nature Conservation Sites SG have since been adopted as statutory to the LDP. All supplementary guidance can be downloaded from our website www.shetland.gov.uk/ldp.

	LDP Policy Reference	Research (1), Draft (2), Pre-Consultation inc consider responses (3), Committee Draft (4)	Approved for consultation	Consultation	Review Consultation responses & redraft	Approved for submission to Scottish Government	Sent to Scottish Government for Adoption	Adopted by Shetland Islands Council as: (1) Statutory Guidance or (2) Non-Statutory Guidance	Additional Information
Supplementary Guidance									
Marine Spatial Plan	CST1						1		
Local Nature Conservation Sites	NH3						1		
Onshore Wind Energy	RE1						1	SEA	
Placemaking	GP2 H5						2		
Parking Standards & Residential Access	TRANS 3	1							
Aquaculture	CST1						1	SEA	
Works Licence	CST1						2	SEA	
Local Landscape Areas	NH3	2							
Natural Heritage	NH1 NH2 NH4 NH5	2							
Business and Industry	ED1	2							
Water and Drainage	WD1 WD2 WD3	2							
Historic Environment	HE2 HE3 HE4	2							
Open Space	CF2	1							
Outdoor Access Strategy	-						2		



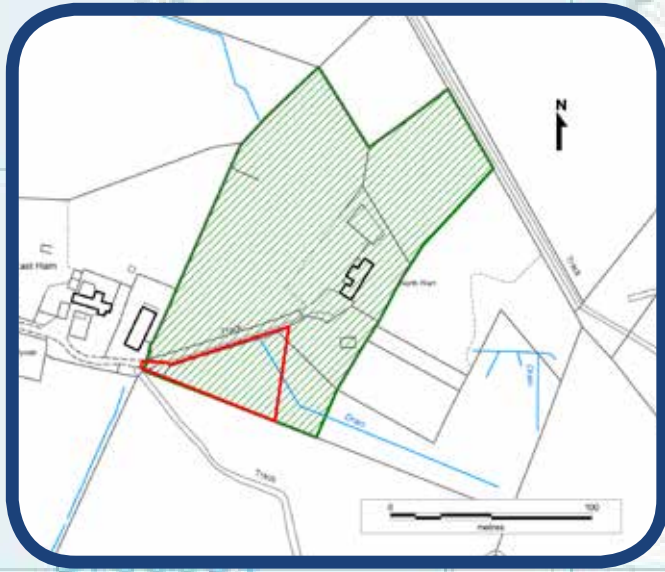
Residential Sites



Shetland
Islands Council

Site: BR001

Site Address: North Wart, Bressay



Site Details

Site Area (ha): 1.64

Current Use: Residential

Proposed Use: Housing

Site Ownership: RG Care / Grace I Care

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

The site has development potential for small scale development.

A buffer will be required around watercourses.

Details of water supply availability should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Any development in this area must connect to the public sewer. Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Updated Scottish Water Comments as of November 2016

A minimum of 800m of new sewer and associated manhole's would be required to connect development to existing public wastewater infrastructure. It would be able to gravitate and there is ample capacity in existing septic tank.

There is a 2" AC water main within lower third of site, which may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

The Landowner intends to develop the south part of this site.

2017/057/PPP - planning permission in principle to erect a dwelling house

Site: CL001

Site Address: Sundibanks, Scalloway



Site Details

Site Area (ha): 0.51

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: RB & AH Eunson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Development Timescale: Short (1-5 years)

Site Progress: There has been no development(s) approved on site as of 31/10/2017

Site: CL002

Site Address: Sundibanks, Scalloway



Site Details

Site Area (ha): 0.92

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: Ronnie Eunson & Nicolsons of Brindister

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

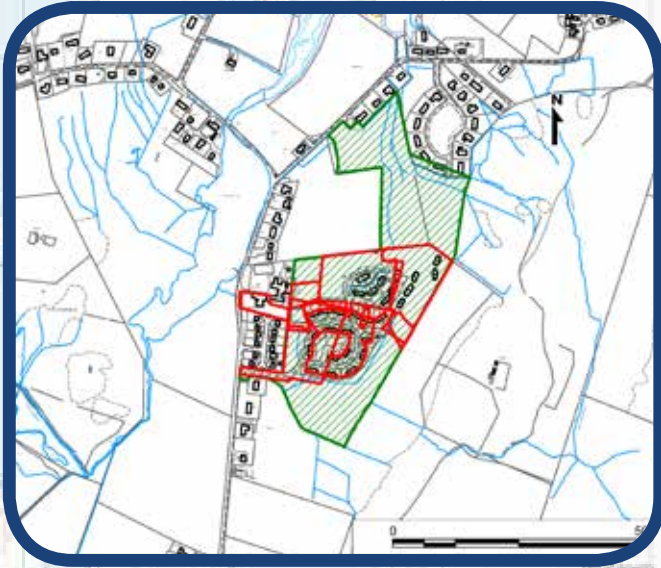
Development Timescale: N/A

Site Progress:

The landowner no longer intends to develop the site.

Site: CL003

Site Address: Strand, Tingwall



Site Details

Site Area (ha): 12.76

Current Use: Rough grazing

Proposed Use: Housing

Site Ownership: Margaret Robertson

Infrastructure Requirements/Constraints

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Part or all of this site lies beneath the 5m contour.

Drainage impact assessment will be required.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A full Design Statement including details of development phasing will be required for this site.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development in this area must connect to the public sewer.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A project has been initiated to upgrade capacity at the Tronafirth sewage treatment works, which serves this area." in the site notes for this site.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November Up 2016

A project has been initiated by Scottish Water to upgrade capacity at Tronafirth ST.

There is a 125mm HPPE and 63mm MDPE water mains within boundary of north section of site, which may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2013/249/PPF - Install windows in north elevation

2013/264/VCON - Variation of Planning Condition no. 17 of permission 2011/48/PCD: Variation of working hours

2014/176/PPF - Install external air heat source pump to 40 dwellings (Retrospective Application)

2016/346/PPF- full planning permission to erect 16 residential units with associated infrastructure and planning permission in principle to create 3 no. house sites and a childrens home

2017/059/PPF-Insert windows in north elevation

2017/084/PPF - Full Planning Permission for 24 social housing units and Planning Permission in Principle for 2 residential sites

2018/035/PPF - Erect steel portal frame building for use as a Agricultural Museum and install access and parking areas

2018/145/PPF - To erect privacy and wind-break timber fencing to site curtilage

2018/223/PPF - To alter Block 8 to provide two single storey 6 person 4 bedroom dwellings with one of the dwellings specially adapted (Previous Planning Permission 2017/084/PPF)

Site: CL004

Site Address: Veensgarth, Tingwall



Site Details

Site Area (ha): 1.11

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Part or all of this site lies beneath the 5m contour.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

A project has been initiated by Scottish Water to upgrade capacity at Tronafirth ST.

There is a 100mm DI rising foul sewer and 125mm HPPE water main within site boundary, which may require diversion, depending on site layout.

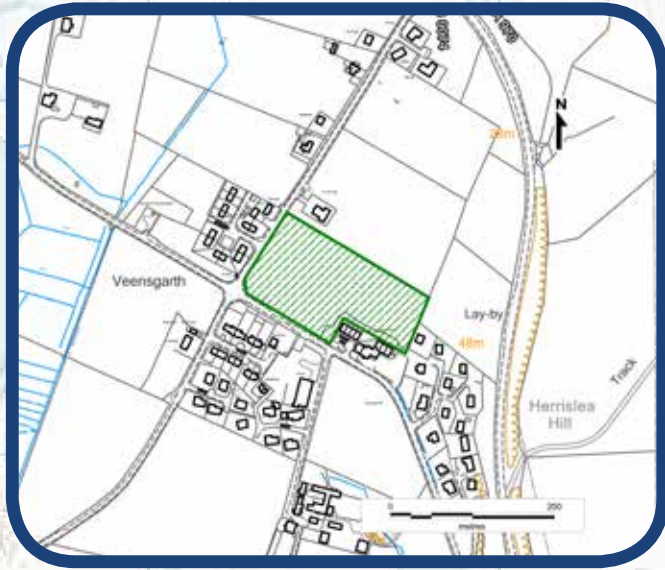
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: CL005

Site Address: Veensgarth, Tingwall



Site Details

Site Area (ha): 1.99

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Cecil Eunson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

A project has been initiated to upgrade capacity at the Tronafirth sewage treatment works, which serves this area." in the site notes for this site.

Updated Scottish Water Comments as of November 2016

A project has been initiated by Scottish Water to upgrade capacity at Tronafirth ST.

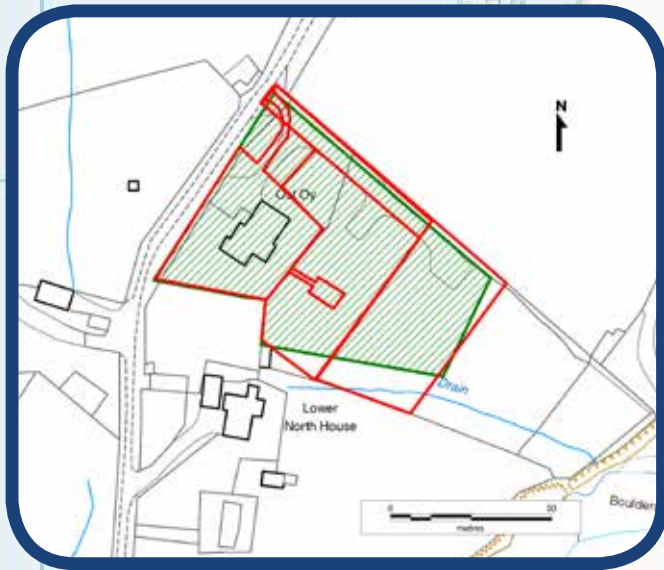
Development Timescale: N/A

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: CL006

Site Address: Northouse Croft, Bridge End Burra



Site Details

Site Area (ha): 0.47

Current Use: Crofting

Proposed Use: Housing

Site Ownership: Elizabeth Fullerton

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2013/347/PPF - Erect dwellinghouse and integral garage

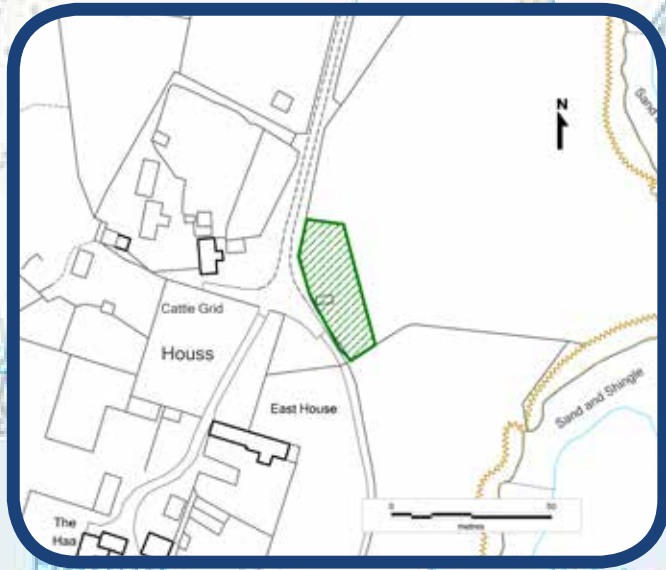
2015/285/PPP - To erect dwellinghouse; create parking and access road (Planning Permission in Principle)

2015/286/PPP - To erect dwellinghouse; create parking and access road (Planning Permission in Principle)

2016/377/AMSC - Erect 2 bedroom dwelling house & detached garage with access road, parking and turning area. Installation of air-source heat pump.

Site: CL007

Site Address: House, Bridge End Burra



Site Details
 Site Area (ha): 0.06
 Current Use: Grazing
 Proposed Use: Housing
 Site Ownership: James John Christie

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. A Core Path is close to the site, for further information please contact the Heritage Section.

Development Timescale: Short/Medium/Long (1- 15 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019

Site: CL008

Site Address: Old School Road, Trondra



Site Details

Site Area (ha): 1.59

Current Use: Currently Unused

Proposed Use: Housing

Site Ownership: June Porter, Alison Rodgers, Kaye Brown

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. In the absence of a public sewer, the site has potential only for small scale development. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A Core Path is present within the site, for further information please contact the Heritage Section

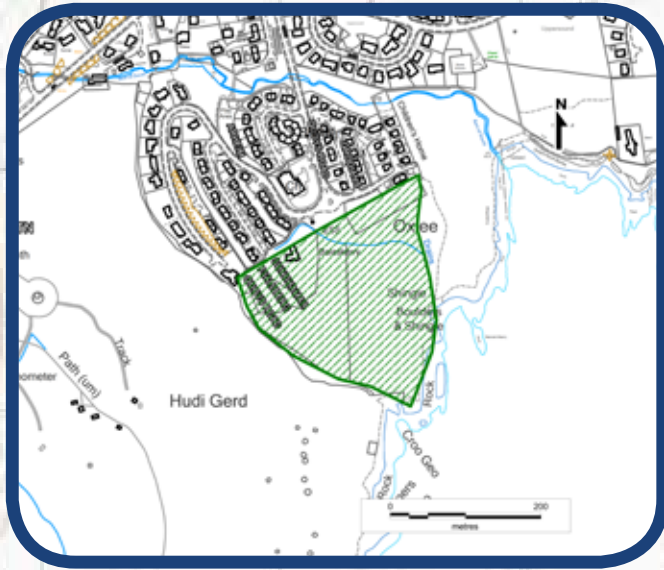
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019

Site: LK008

Site Address: Oxlee, Lerwick



Site Area (ha): 4.77
 Current Use: Grazing
 Proposed Use: Housing
 Site Ownership:

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer. There are capacity issues in the drainage network at the south-west end of Lerwick potentially affecting this site.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

A full Design Statement including details of development phasing will be required for this site.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Upper part of site would be able to connect to existing sewer by gravity. Lower part would have to be pumped to existing network.

Please Note: there is limited capacity within the drainage network at this end of Lerwick. Developer should contact Scottish Water to discuss site requirements as early as possible.

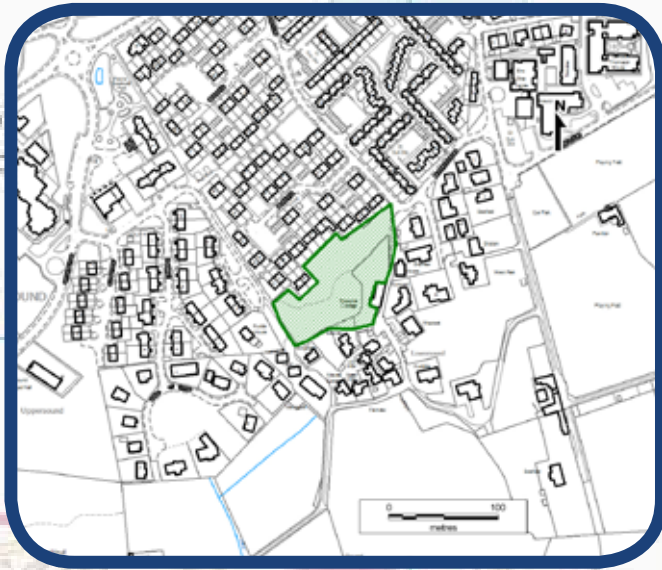
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK009

Site Address: Lower Sound, Lerwick



Site Details

Site Area (ha): 0.73

Current Use: Vacant

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

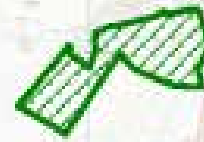
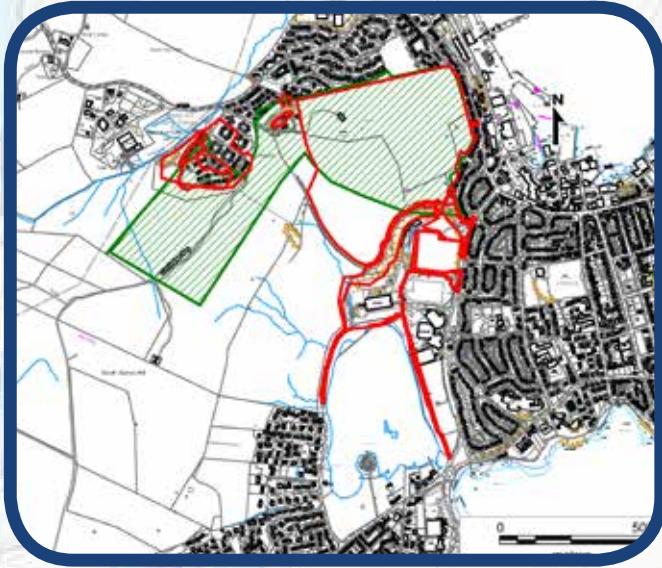
Development Timescale: (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK012

Site Address: Staney Hill, Lerwick



Site Details

Site Area (ha): 44.14

Current Use: Housing Dev

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Partial Area passed to Hjaltland // GB AM Anderson - Messrs Anderson own a section of Site LK012 (that part directly to the south of Wista and Cunningham Way)

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

There is water infrastructure running through this site, please contact Scottish Water for advice.

Views from the summit of North Staney Hill must be protected.

Updated Scottish Water Comments as of November 2016

Connection to sewer, by gravity to west, would not be overly prohibitive so comment regarding "major new infrastructure" can be removed.

150mm uPVC main running through site between tanks

would need realigned, not a real issue as not distribution main. However, 8" PVC distribution main through west corner of site will be required to be realigned. There is also a service reservoir in the middle of the northern part of the site.

Development Timescale: Short/Medium/Long (1-10+ years)

Site Progress:

A Masterplan has been adopted for this site.

Planning Permission Granted on Site

2012/349/PPF - Erect single storey extension to existing house to create new kitchen and bedroom, minor partial demolition required to existing lean-to

2014/117/PPF - Erect new High School and Halls of Residence

2014/197/PPP - Proposed housing (Planning Permission in Principle)

2014/272/PPF - Install 14no. air source heat pumps to housing units

2014/278/VCON - To vary condition 1 of planning permission 2010/209/PCD to alter house type C (part retrospective application)

2014/313/PPF - To construct roundabout, access road and associated parking area, footpaths, landscaping and surface drainage

2015/063/VCON - To vary condition 24 of Planning Permission

2014/117/PPF to vary construction hours

2015/076/PPF - To erect 2no. dwellinghouses

2015/120/PPF - Installation of 20 no. air source heat pumps

(Retrospective Application)

2016/048/PPF - To construct a workshop for the repair and servicing of vehicles and plant/equipment - including an external laydown area, required car parking and existing access road upgrade

2016/361/VCON - To vary condition 1 of planning permission

2010/209/PCD to change 2no. 6 Person Houses to 2no. 4 Person Houses and reduce the height from storey and a half to single storey

2018/287/PPF - Complete renovation works of existing two-storey building - Part Retrospective.

Site: LK013

Site Address: Norstane, Lerwick



Site Details

Site Area (ha): 1.19

Current Use: Vacant

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK016

Site Address: Lerwick Observatory



Site Area (ha): 0.57

Current Use: No detail given

Proposed Use: Housing

Site Ownership: Hjaltland Housing Association

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Please note there is evidence of previous military activity within this site. Please

contact Environmental Health for further details.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

There are capacity issues in the drainage network at the south-west end of Lerwick potentially affecting this site.

Updated Scottish Water Comments as of November 2016

There is capacity issues within the drainage network at this end of Lerwick. Developer should contact Scottish Water do discuss site requirements as early as possible.

Development Timescale:

Short (1-5 years) - Under construction - completion due October 2017

Site Progress:

Planning Permission Granted on Site

2015/040/PPF -Change of use to residential land and to erect 21 no. Residential dwelling houses

Site: LK017

Site Address: Lower Sound, Lerwick



Sound

Lowersound

Site Details

Site Area (ha): 0.09

Current Use: Garden

Proposed Use: Housing

Site Ownership: Hamish G Nicol & Mrs
Anne B Nicol

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A Core Path is present along the boundary of the site for further information please contact the Heritage Section for more information.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

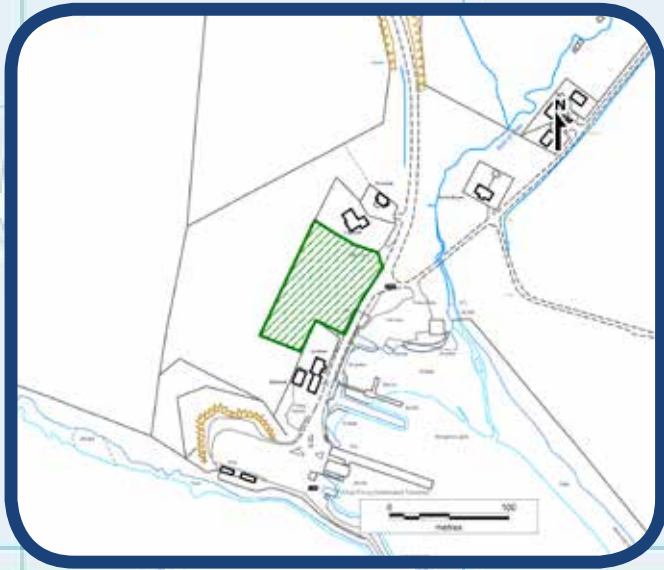
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NI001

Site Address: Ulsta, Yell



Site Details

Site Area (ha): 0.58

Current Use: Grazing

Proposed Use: Housing

Site Ownership: John H Ballantyne

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area should connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design,

layout, density and setting when developing detailed proposals.

Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NI002

Site Address: Ulsta, Yell



Site Details

Site Area (ha): 0.3

Current Use: Grazing

Proposed Use: Housing

Site Ownership: John H Ballantyne

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

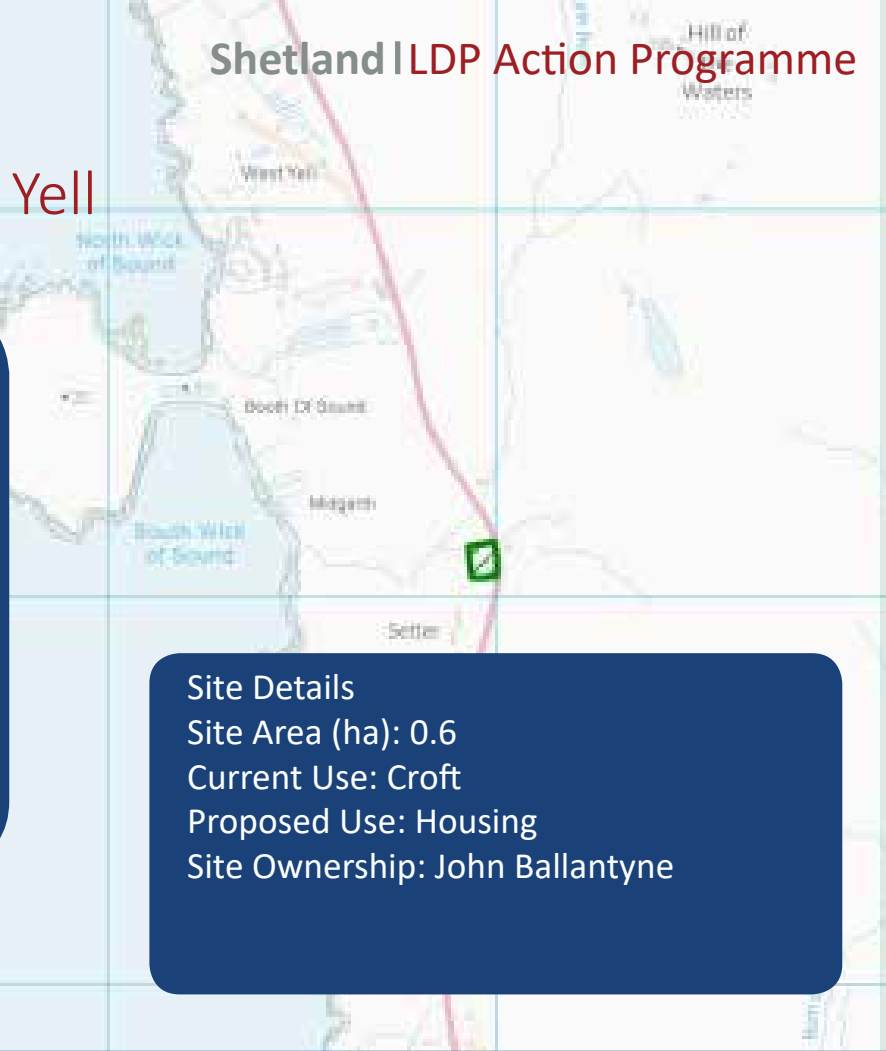
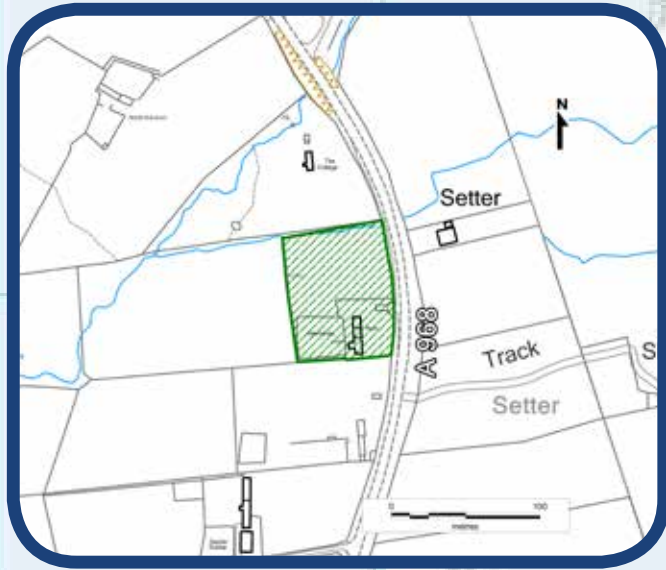
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NI003

Site Address: Setter, West Yell



Site Details
 Site Area (ha): 0.6
 Current Use: Croft
 Proposed Use: Housing
 Site Ownership: John Ballantyne

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Sewer main and 2" PVC water main within site boundary, which may require diverting, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NI004

Site Address: Burravoe, Yell



Site Details

Site Area (ha): 0.67

Current Use: Non croft land

Proposed Use: Housing

Site Ownership: L & J Odie

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Updated Scottish Water Comments as of November 2016

Sewer main and 2" PVC water main within site boundary, which may require diverting, depending on site layout.

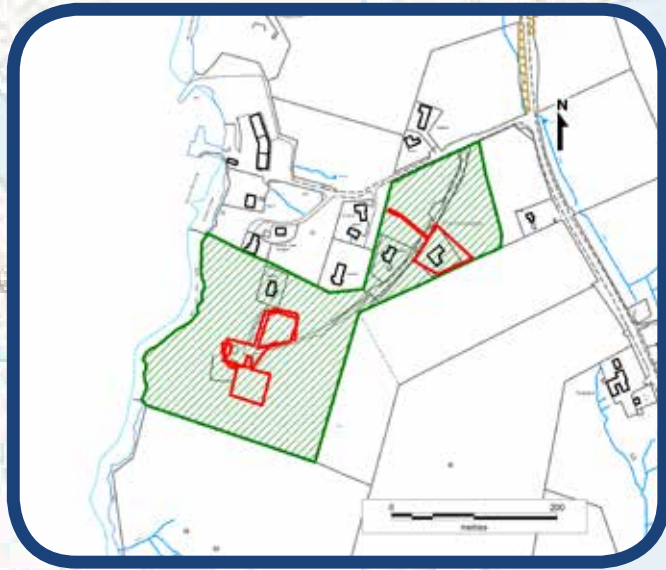
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM001

Site Address: The Houllands, Brae



Site Details

Site Area (ha): 6.3

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: Raymond Peterson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed. Any proposals should be low density to reflect the existing development pattern. Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

2" AC and 3" PVC water main within site boundary. Diverting mains would be Ok due to duplication in area.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2012/353/PPF - To erect new dwellinghouse

2013/281/RPP - Renewal of Planning Permission

2009/325/PCD: Erect dwellinghouse with associated access, parking, amenity space and septic tank

2013/286/PPF - Erect dwellinghouse

2017/200/PPF - To erect new single story 4 bed dwelling with septic tank and access

Site: NM002

Site Address: Roebreck, Brae



Site Details

Site Area (ha): 3.44

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: Andrew & Barbara Hall

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Core path is along the boundary of the site for further information please contact the Heritage Section.

The site may be at risk of flooding and a flood risk assessment (FRA) or a drainage impact assessment (DIA) will be required to determine which areas of the site, if any, can be developed.

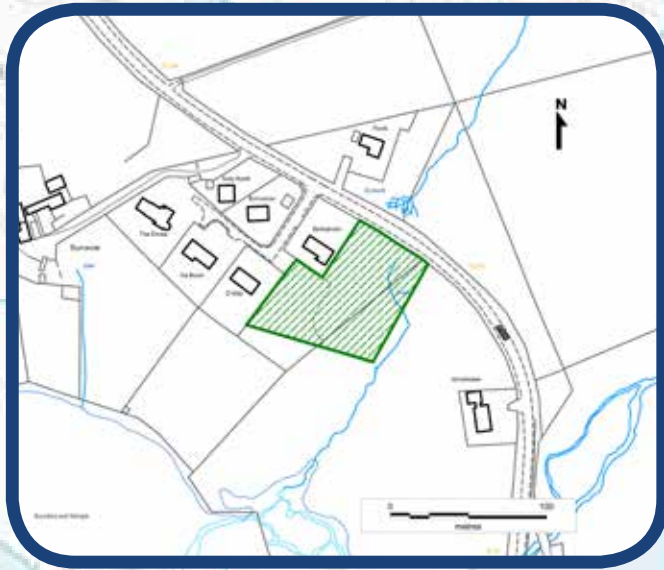
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM003

Site Address: Burravoe, Brae



Site Details

Site Area (ha): 0.54

Current Use: Fallow

Proposed Use: Housing

Site Ownership: John Tait

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Updated Scottish Water Comments as of November 2016

Pumping would be required for sewer connection. 2" AC and 3" PVC water main within site boundary, which may require diverting, depending on site layout.

Development Timescale: Short (3-4 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM006

Site Address: Firth



Site Details

Site Area (ha): 6.12

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

Part of the site has been used for landfill. Please contact Environmental Health.

The site may be at risk of flooding and a flood risk assessment (FRA) or a drainage impact assessment (DIA) will be required to determine which areas of the site, if any, can be developed.

Updated Scottish Water Comments as of November 2016

Any development >60m would be at risk of low pressure. 6" PVC water main within site boundary, which may require diverting, depending on site layout.

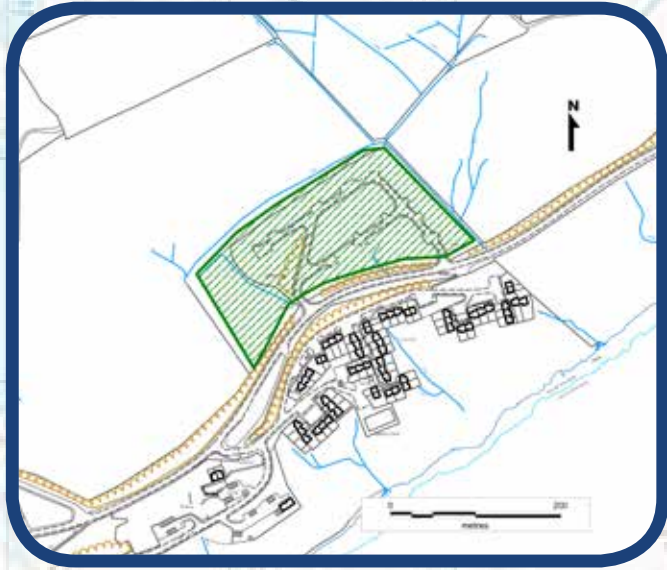
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM007

Site Address: Upper Lea, Firth



Site Details

Site Area (ha): 3.44

Current Use: Vacant

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Upgrading of major wastewater infrastructure may be required in order to accommodate development on this site.

The site may be at risk of flooding and a flood risk assessment (FRA) or a drainage impact assessment (DIA) will be required to determine which areas of the site, if any, can be developed.

Updated Scottish Water Comments as of November 2016

Existing site is 'serviced'. Realistically all the water mains would need testing but should be okay. However, sewers would probably need major refurbishment if not completely reworked due historical issues and length of time they've been abandoned.

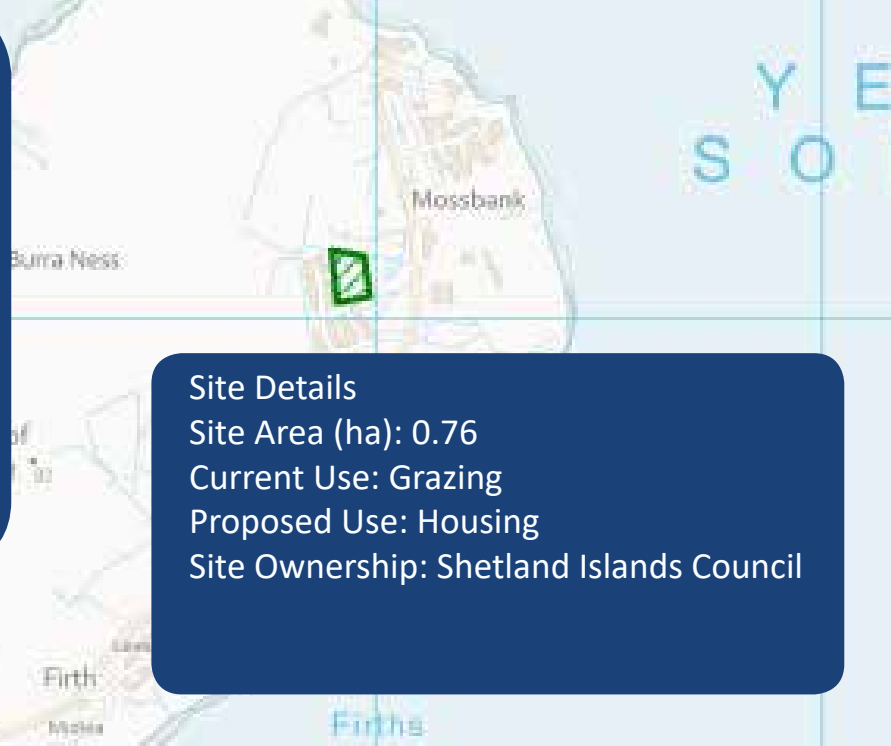
Development Timescale: Short/Medium/Long (1-10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM009

Site Address: Maidenfield, Mossbank



Site Details

Site Area (ha): 0.76

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

There is water infrastructure running through this site, please contact Scottish Water for advice.

Updated Scottish Water Comments as of November 2016

Existing site is 'serviced' realistically all the water mains would need testing but should be okay. However, sewers would probably need major refurbishment if not completely reworked, due to historical issues and length of time they've been abandoned.

Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM010

Site Address: Braehead, Mossbank



Site Area (ha): 0.66

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council
- croft tenancy

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

A Core Path is present within the site for further information please contact the Heritage Section.

Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM011

Site Address: Bankhead, Mossbank



Site Details

Site Area (ha): 0.77

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

A buffer will be required around watercourses.

Part or all of this site lies beneath the 5m contour.

Any development in this area must connect to the public sewer.

There is water infrastructure running along the boundary of the site. Details of water supply availability should be sought from Scottish Water.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

There may be issues regarding the power cable please contact Scottish Hydro Electric.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Site would require to be pumped to existing public sewer.

2" PVC water main laid around boundary of site.

Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM012

Site Address: Hall, Mossbank



Site Details

Site Area (ha): 1.87

Current Use: Grazing

Proposed Use: Housing

Site Ownership:

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

There is a 4" and a 2" distribution main, details of water supply availability should be sought from Scottish Water.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

A Core Path is present along the east boundary of the site, for further information please contact the Heritage Section.

There is a risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Updated Scottish Water Comments as of November 2016

2" PVC and 4" PVC water main running through site, north to south, which may require diverting, depending on site layout.

Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM014

Site Address: Hall Park, Vidlin



Site Details

Site Area (ha): 0.72

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: James Johnson

Infrastructure Requirements/Constraints

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

The location of part of this site is not considered sympathetic to the existing settlement pattern and therefore only part of this site is included.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Site adjacent to existing water infrastructure. Small septic tank close by.

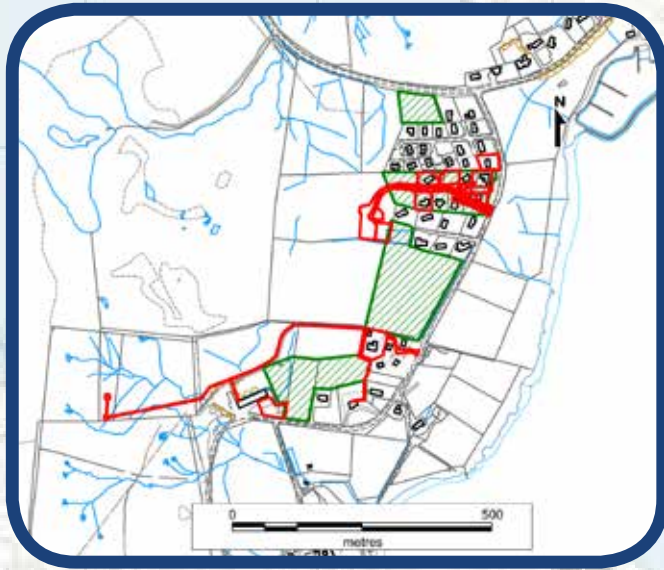
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM015

Site Address: Busta, Brae



Site Details

Site Area (ha): 5.69

Current Use: Agricultural

Proposed Use: Housing

Site Ownership: Jimmy Johnson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

This proposed site is within 250m of a Scheduled Ancient Monument, please contact the Shetland Archaeologist at the Shetland Amenity Trust prior to progressing with this development to ensure the setting of the Scheduled Monument is not compromised.

Development Timescale: (1-5 years)

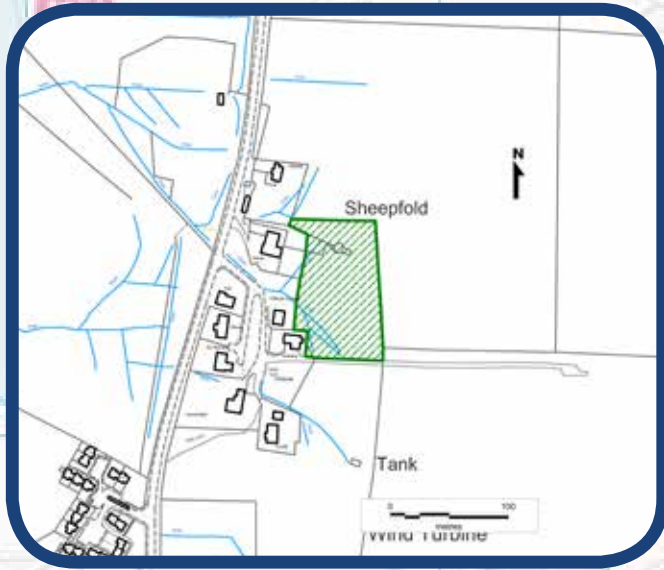
Site Progress:

Planning Permission Granted on Site

- 2013/323/PPF - Erect dwellinghouse and integral garage and detached shed
- 2014/066/PPF - Erect dwellinghouse
- 2014/121/PPF - Erect general purpose agricultural shed
- 2014/259/PPF - Install air source heat pump
- 2014/265/PPF - Erect and install 2 no. 6kw wind turbines on 15 m high towers and excavation of associated trench for electricity cable
- 2015/107/PPF - To erect dwellinghouse with attached garage
- 2015/116/PPF - To erect dwellinghouse with attached garage
- 2015/273/PPF - To erect dwellinghouse and create new access road
- 2016/029/PPF - To construct dwelling house with Air Source Heat Pump
- 2017/029/PPF - To construct new dwelling house with air source heat pump
- 2016/424/PPF - To construction new dwelling house with air source heat pump
- 2017/184/PPF - To construct 1.5 storey dwellinghouse with attached garage and air source heat pump
- 2018/245/PPF - To erect new dwellinghouse with integral garage and air source heat pump
- 2018/350/PPF - New dwelling house with Air Source Heat Pump and Timber Decking

Site: NM016

Site Address: Hillside, Voe



Site Details

Site Area (ha): 0.78

Current Use: Common Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

An easy connection can be made to existing public sewer so can remove comment regarding major new upgrade of wastewater infrastructure.

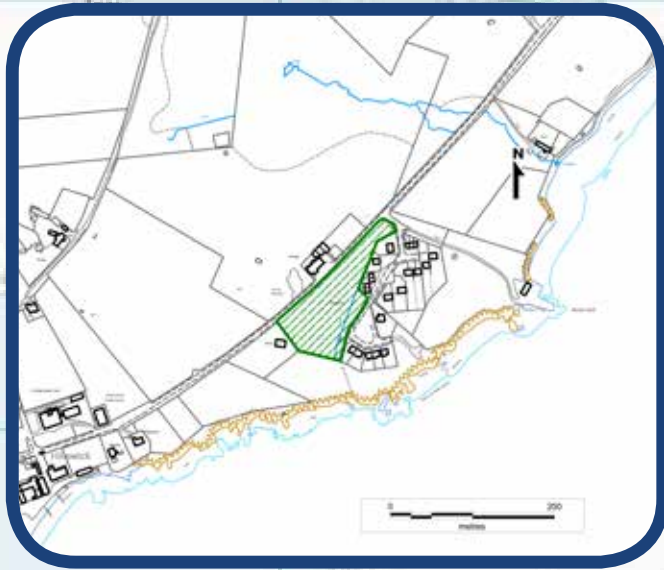
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM017

Site Address: Stucca, Hillswick



Site Details
 Site Area (ha): 0.9
 Current Use: Common Grazing
 Proposed Use: Housing
 Site Ownership:

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. There is high risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

2" PVC water main and a sewer main run through the site and may require diversion, depending on site layout.

Development Timescale: Long (10+ years)

Site Progress:

The landowner no longer intends to develop the site.

Site: NM018

Site Address: Stucca, Hillswick



Site Details
 Site Area (ha): 0.65
 Current Use: Common Grazing
 Proposed Use: Housing
 Site Ownership:

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Updated Scottish Water Comments as of November 2016

Site adjacent to Stucca Hillswick ST. Most of site >5m would easily connect to existing treatment, ample capacity, so can remove comment regarding major new upgrade of wastewater infrastructure.

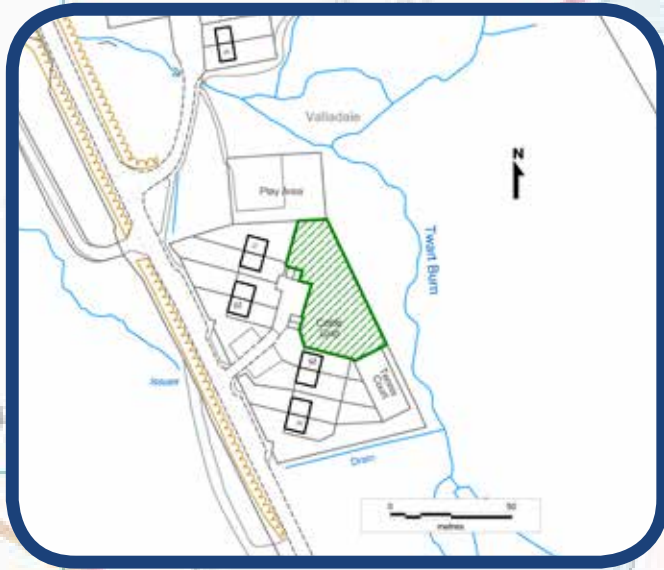
Development Timescale: Long (10+ years)

Site Progress:

The landowner no longer intends to develop the site.

Site: NM019

Site Address: Vallandale



Site Details

Site Area (ha): 0.13

Current Use: Common Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Updated Scottish Water Comments as of November 2016

Easy connection to existing public sewer, ample capacity so can remove comment regarding major new upgrade of wastewater infrastructure.

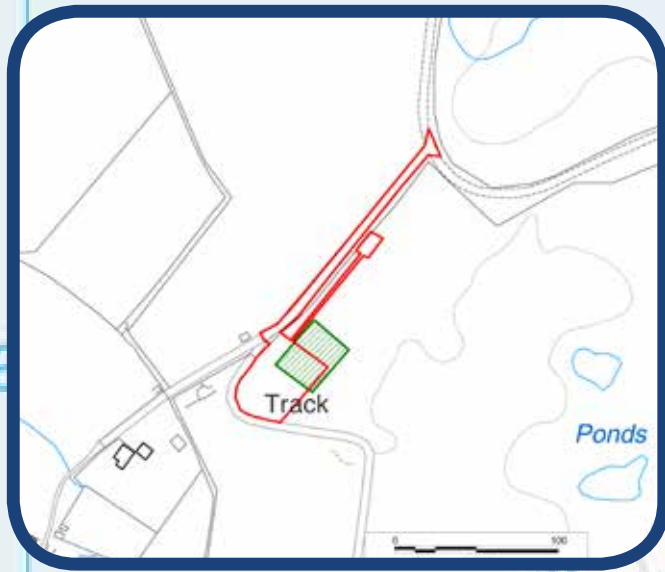
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: NM021

Site Address: Railsbrough, South Nesting



Site Details

Site Area (ha): 0.1

Current Use: Rough grazing

Proposed Use: Housing

Site Ownership: Mr & Mrs P. Rutherford

Infrastructure Requirements/Constraints

Local Development Plan and related Supplementary Guidance when approved.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

1 1/2" PVC water main running alongside site, connection would be taken from 2" PVC water main < 100m away.

Development Timescale: Short/Medium (1-10 years)

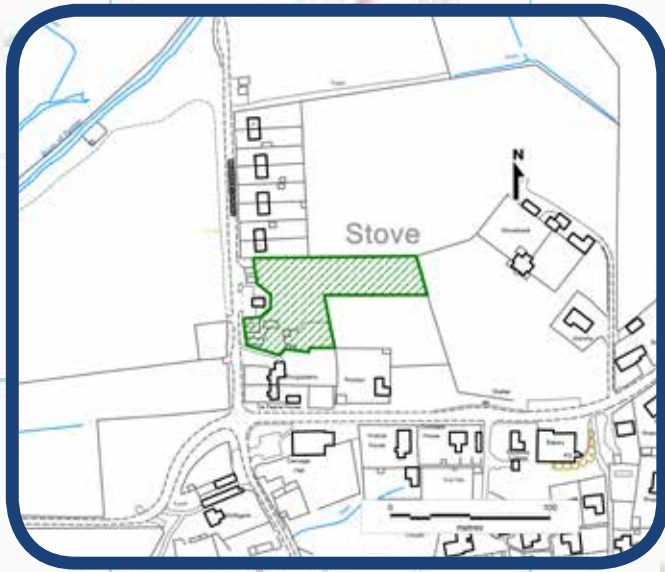
Site Progress:

Planning Permission Granted on Site

2015/077/PPP - To erect dwelling house with new joint septic tank and infiltration system; improvements to the junction of the existing access track with the public road; ditch improvement works at the access to the new house site (Planning Permission in Principle)

Site: SM001

Site Address: Stove, Sandwick



Site Details

Site Area (ha): 0.4

Current Use: Unused

Proposed Use: Housing

Site Ownership: Rosemary Inkster (It was brought to our attention in 2017 that a section of the site is under the ownership of Mr and Mrs S Malcolmson).

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

1 1/2" AC water main and private sewer service pipe crosses site and may require diversion, depending on site layout.

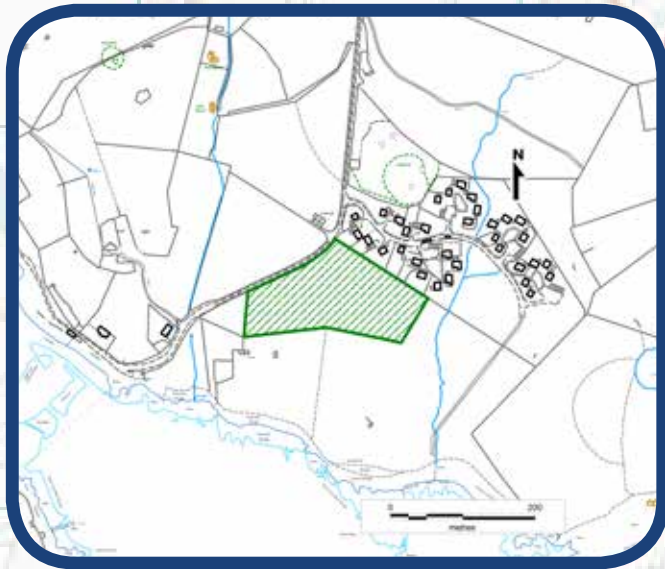
Development Timescale: Medium/Long (5-10+ years)

Site Progress:

The Landowner (R.Inkster) intends to develop her part of the site.

Site: SM002

Site Address: Dalsetter, Dunrossness



Site Details

Site Area (ha): 2.15

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: unknown

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

This proposed site is within 250m of a Scheduled Monument, please contact the Shetland Archaeologist at the Shetland Amenity Trust prior to progressing with this development to ensure the setting of the Scheduled Monument is not compromised.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

1 1/2" AC water main and private sewer service pipe crosses site and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM003

Site Address: Heathery Park, Gulberwick



Site Details

Site Area (ha): 2.25

Current Use: Not in use

Proposed Use: Housing

Site Ownership: Dennis Leask

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Surface water drainage may be a problem in this area any development must not compromise existing arrangement.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

Updated Scottish Water Comments as of November 2016

There is limited capacity within the drainage network at this end of Lerwick. Developer should contact Scottish Water do discuss site requirements as early as possible.

Development Timescale: Short (1-5 years)

Site Progress: Planning Permission Granted on Site

2012/364/PPF - Residential development comprising of detached houses, apartments and development sites for individual dwellings with associated services and infrastructure

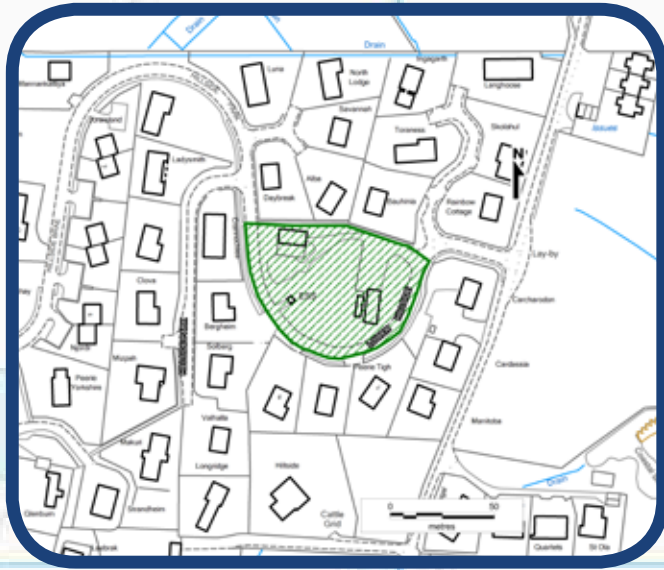
2013/203/PPF - Drainage improvements to include additional roads culverts

2016/128/PPF - Change of use to provide temporary storage for topsoil for 2 years (retrospective)

2016/300/PPF - 16 housing unit development, including access roads and parking

Site: SM004

Site Address: Hillside, Gulberwick



Site Details
 Site Area (ha): 0.42
 Current Use: No detail given
 Proposed Use: Housing
 Site Ownership: Dennis Leask

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. There is risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information. Any development in this area must connect to the public sewer. Details of water supply availability should be sought from Scottish Water.

Updated Scottish Water Comments as of November 2016

There is limited capacity within the drainage network at this end of Lerwick. Developer should contact Scottish Water do discuss site requirements as early as possible.

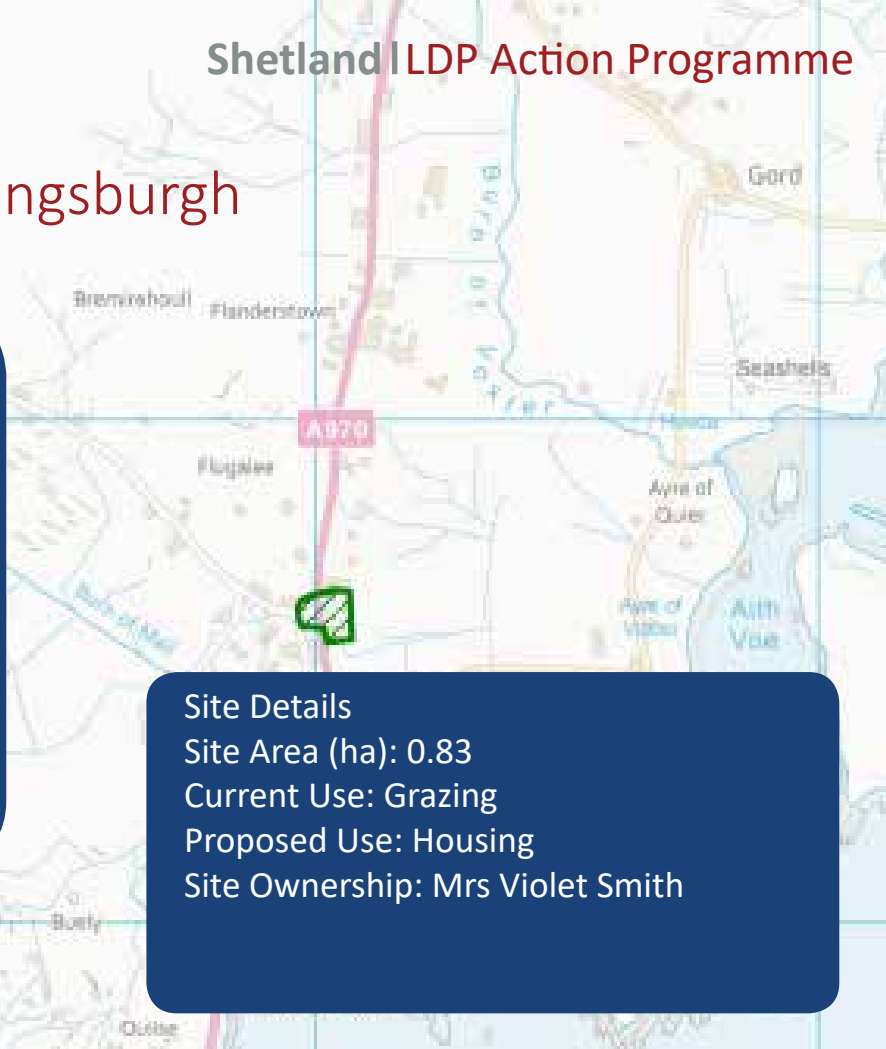
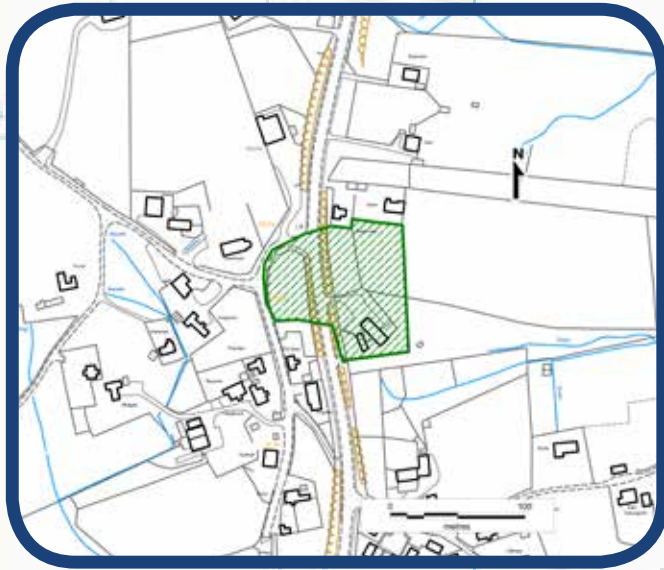
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM005

Site Address: Quee, Cunningsburgh



Site Details

Site Area (ha): 0.83

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Mrs Violet Smith

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A Core Path is present within the site for further information please contact the Heritage Section. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Updated Scottish Water Comments as of November 2016

Several water and sewer mains cross this site and may require a diversion, depending on site layout.

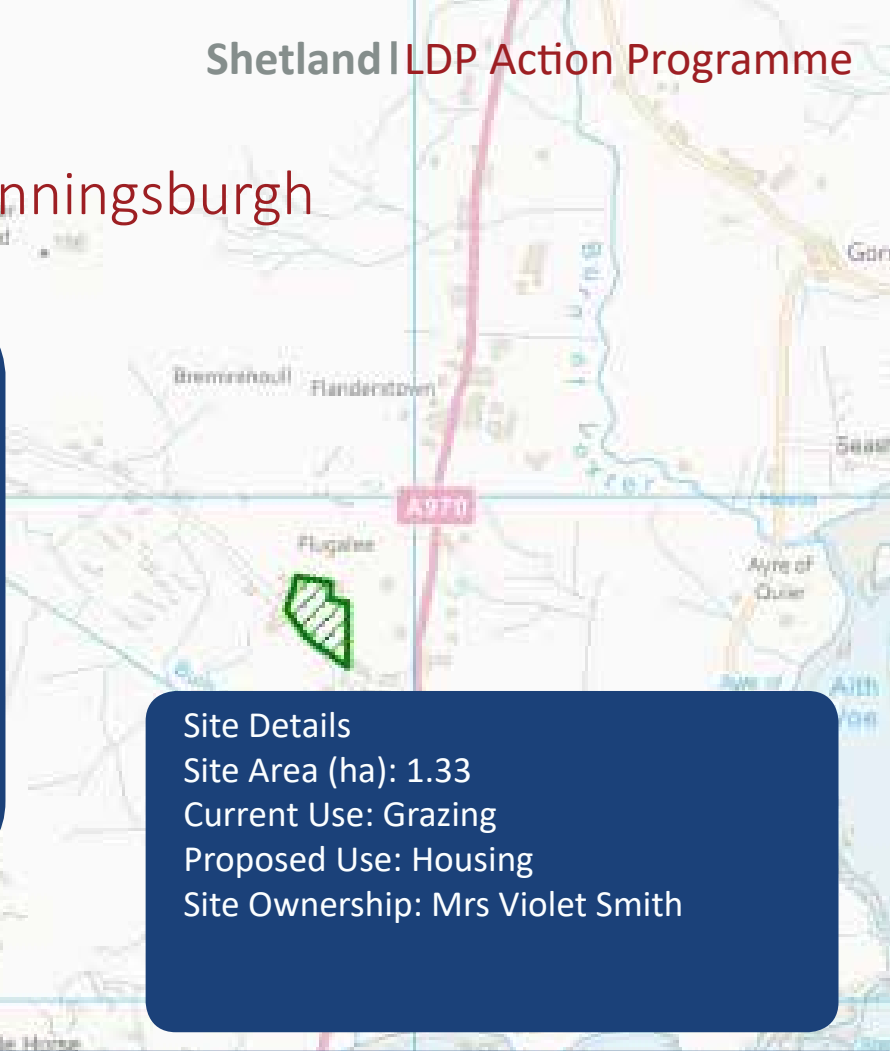
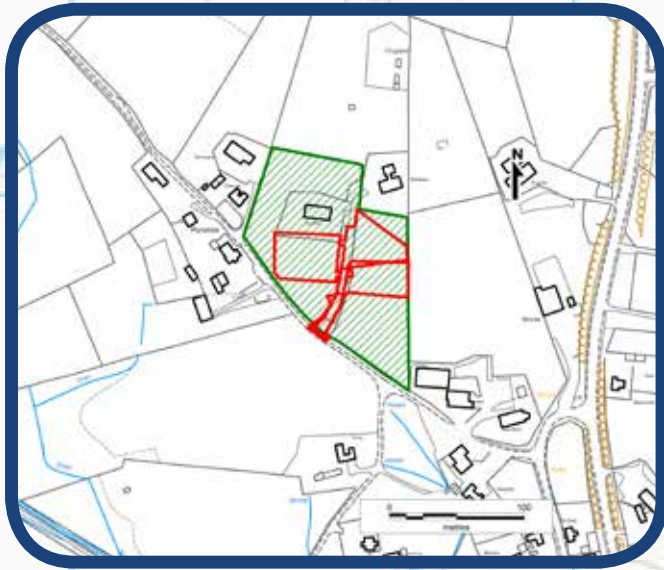
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM006

Site Address: Flugalee, Cunningsburgh



Site Details
 Site Area (ha): 1.33
 Current Use: Grazing
 Proposed Use: Housing
 Site Ownership: Mrs Violet Smith

Infrastructure Requirements/Constraints

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Updated Scottish Water Comments as of November 2016

230mm HEP30 water main crosses site and a sewer main is just within boundary at south of site. Infrastructure may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress: Planning Permission Granted on Site

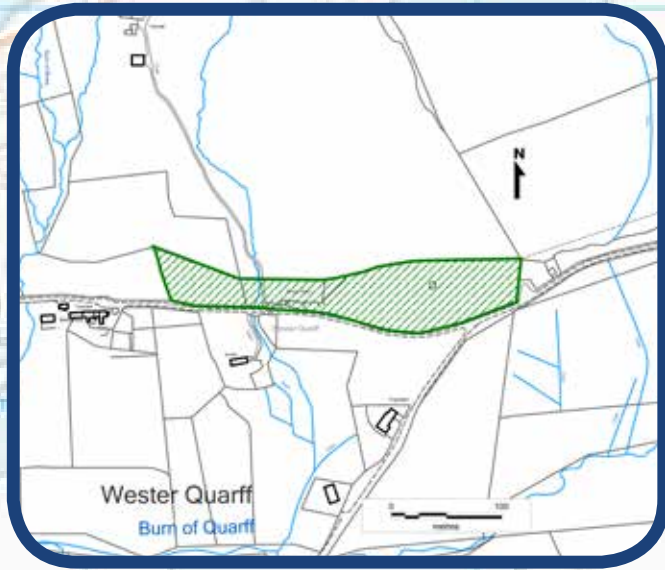
2014/112/PPF - Erect dwellinghouse with integral garage

2015/339/PPF - To erect dwellinghouse and install air source heat pump

2017/022/PPF - To construct new dwelling house with air source heat pump

Site: SM007

Site Address: Upswall, Wester Quarff



Site Details

Site Area (ha): 1.38

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Mrs Violet Smith

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

No waste water treatment in area.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

A Core Path is present within the site for further information please contact the Heritage Section.

Updated Scottish Water Comments as of November 2016

4" PVC water main crosses narrow section of site.

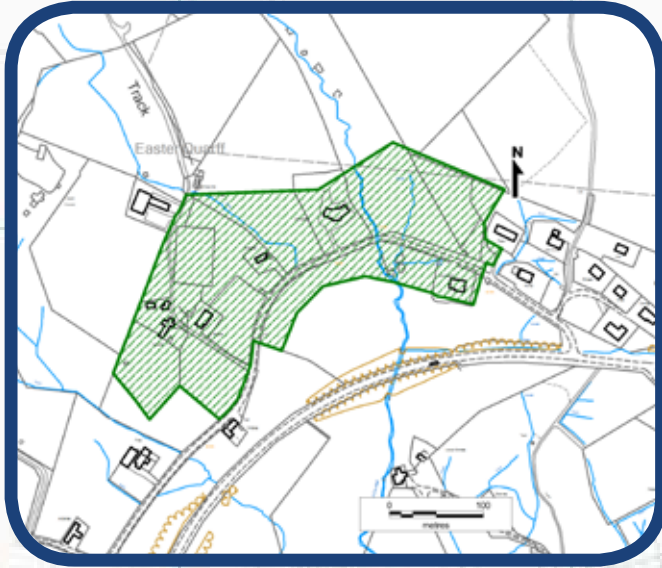
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM008

Site Address: Upper Couster, Easter Quarff



Site Details

Site Area (ha): 5.95

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Mrs Violet Smith

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Major new (or significant upgrading of) wastewater infrastructure will be required in order to accommodate development on this site. The site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Updated Scottish Water Comments as of November 2016

There is no public sewer in this area. There is a 2" PVC water main and a 3" PVC water main running across the site, north to south and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM009

Site Address: Horseshoe Close, Dunrossness



Site Details

Site Area (ha): 0.66

Current Use: Vacant

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

Connection to existing public sewer would be possible by gravity.

Development Timescale: Short/Medium/Long (1-10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM010

Site Address: Spiggie, Dunrossness



Site Details

Site Area (ha): 0.82

Current Use: Fallow Park

Proposed Use: Housing

Site Ownership: K Massey

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Low density or single house development would be appropriate for this site.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airports Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

2" AC water main within west side of site and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress: There has been no development(s) approved on site as of 31/03/2019.

Site: SM011

Site Address: Stove, Sandwick



Site Details

Site Area (ha): 0.26

Current Use: No use at the moment

Proposed Use: Housing

Site Ownership:

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

There is existing infrastructure in the vicinity. A proposed private sewer service pipe may already have been laid within the site boundary.

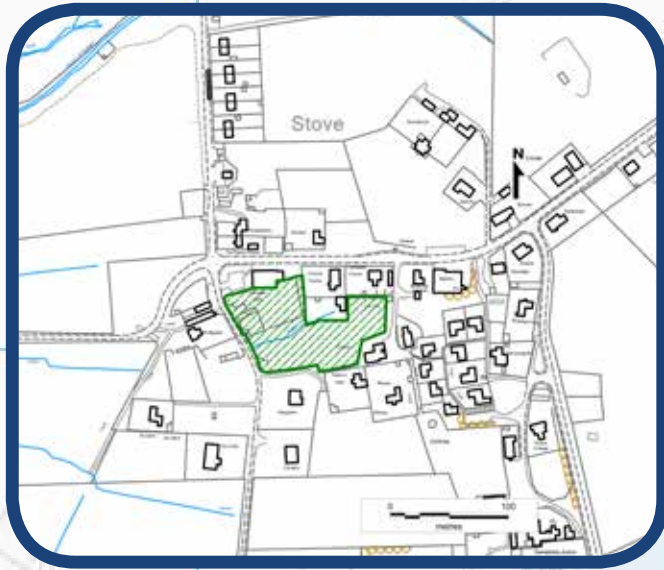
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM012

Site Address: Stove, Sandwick



Site Details

Site Area (ha): 0.66

Current Use: Occasional Grazing

Proposed Use: Housing

Site Ownership: Mrs Caroline Thomson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM013

Site Address: Whilfigarth, Sandwick



Site Details
 Site Area (ha): 0.34
 Current Use: Occasional Grazing
 Proposed Use: Housing
 Site Ownership: Mrs Caroline Thomson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

A 4" AC water main and 2" AC water main cross the site and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM014

Site Address: Haygreen, Sandwick



Site Details
 Site Area (ha): 0.08
 Current Use: Occasional Grazing
 Proposed Use: Housing
 Site Ownership: Mrs Caroline Thomson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016
 2" AC water main runs along inside of east site boundary.

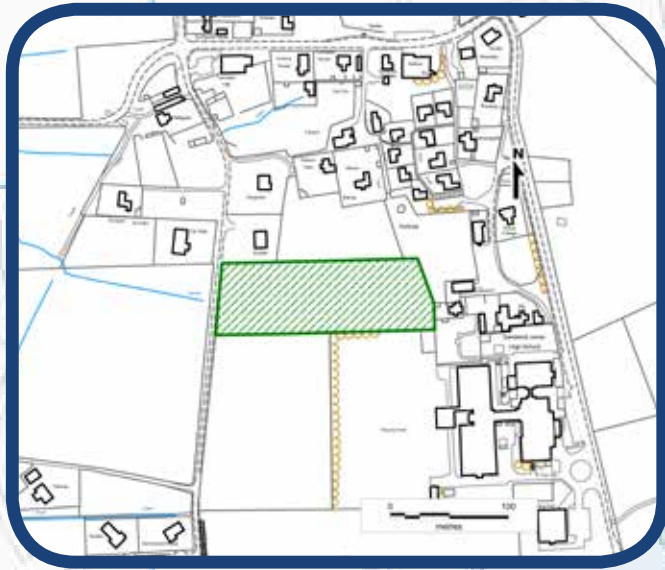
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM015

Site Address: Junior High School, Sandwick



Site Details
 Site Area (ha): 1.08
 Current Use: Occasional Grazing
 Proposed Use: Housing
 Site Ownership: Mrs Caroline Thomson

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.
 All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.
 A buffer will be required around watercourses.
 Any development in this area must connect to the public sewer.
 Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.
 Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016
 Sewer main crosses north east corner of site.

Development Timescale:

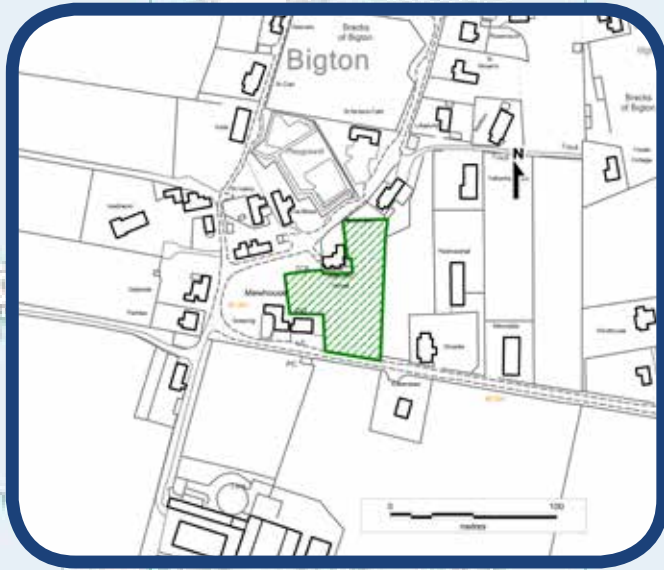
Short/Medium/Long (1-10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM016

Site Address: Bigton Shop



Site Details

Site Area (ha): 0.3

Current Use: No detail given

Proposed Use: Housing

Site Ownership: R. Morrison

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

2" AC water main runs across site and may require diversion, depending on site layout.

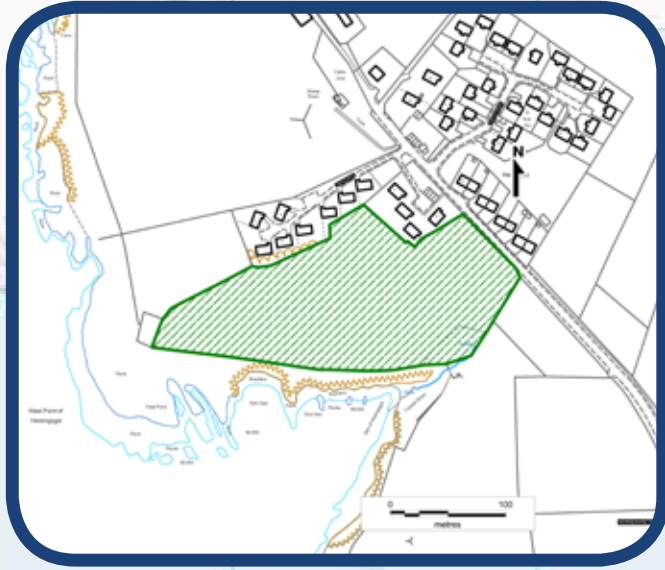
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM017

Site Address: Hestingott, Dunrossness



Site Details

Site Area (ha): 2.84

Current Use: Cattle/sheep grazing

Proposed Use: Housing

Site Ownership: Black & Budge Ltd

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development in this area must connect to the public sewer.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

Site adjacent to Hestingott ST. Separate sewer infrastructure crossing site and combined sewer running along south boundary of site. Infrastructure may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress: There has been no development(s) approved on site as of 31/03/2019.

Site: SM018

Site Address: Scatness, Dunrossness



Site Details

Site Area (ha): 0.34

Current Use: Cattle/sheep grazing

Proposed Use: Housing

Site Ownership: Black & Budge Ltd

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details. The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

Foul sewer runs along north boundary of site.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM020

Site Address: Toab, Dunrossness



Site Details
 Site Area (ha): 0.25
 Current Use: Farm Steading
 Proposed Use: Housing
 Site Ownership: Black & Budge Ltd

Infrastructure Requirements/Constraints

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details. This proposed site is within 250m of a Scheduled Monument, please contact the Shetland Archaeologist at the Shetland Amenity Trust prior to progressing with this development to ensure the setting of the Scheduled Monument is not compromised.

Any development in this area must connect to the public sewer.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

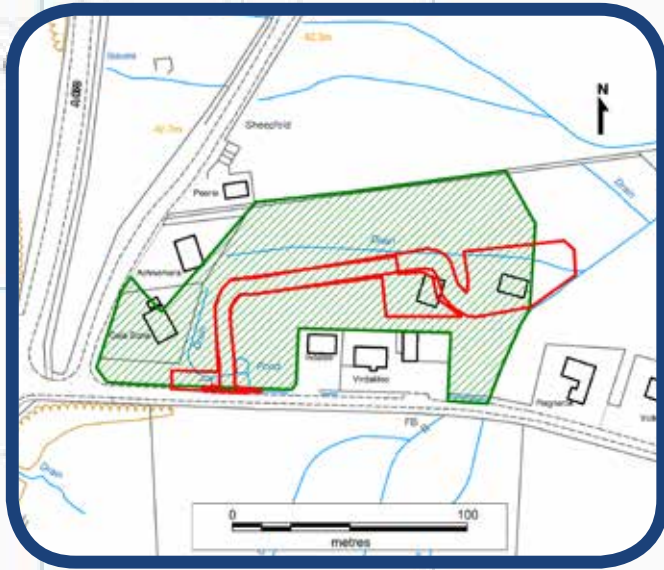
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM021

Site Address: Aithsetter, Cunningsburgh



Site Details
 Site Area (ha): 1.14
 Current Use: Grazing
 Proposed Use: Housing
 Site Ownership: Mrs H. J. Mackenzie

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Site is falling from gravity sewer and pumping may be required depending on layout, etc.

A 2" AC water main crosses this site and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2015/465/PPP - To develop 8no. dwellinghouse sites and access road (Planning Permission in Principle)

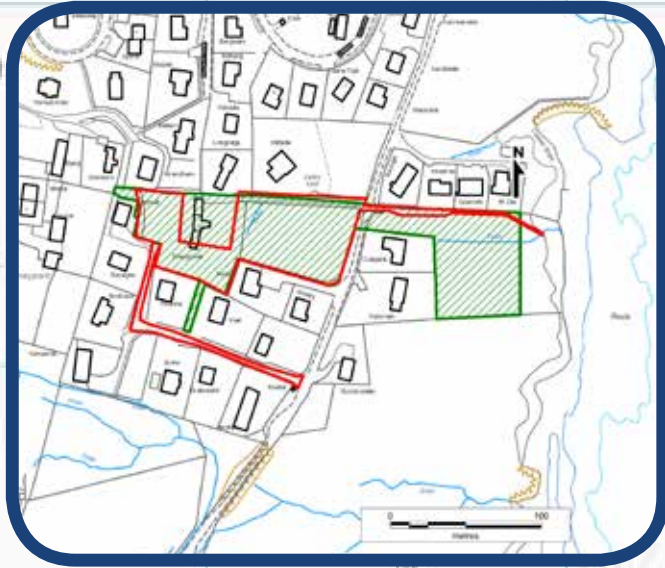
2017/025/PPF - Farmshop sewer installation

2017/250/PPF -To erect dwelling house and site temporary static caravan (for the duration of the build of the dwelling house) Planning Permission in Principle, reference number 2015/465/PPP, granted 03.06.16.

2017/274/PPF - Erect Dwellinghouse with air source heat pump

Site: SM022

Site Address: Ellangowan, Gulberwick



Site Details
 Site Area (ha): 1.23
 Current Use: Grazing ponies & silage
 Proposed Use: Housing
 Site Ownership: Paul Stephen Goudie & Naomi Ruth Murdo

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Lower part of site may require pumping to connect to public sewer.

Development Timescale: Short (1 - 10+ years)

Site Progress:

Planning Permission Granted on Site

2016/131/PPP - Erection of 6 no. Dwelling houses (Planning Permission in Principle)

Site: SM023

Site Address: Scatness, Dunrossness



Site Details

Site Area (ha): 3.51

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Martin Burgess

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

Existing water and wastewater infrastructure within 200m.

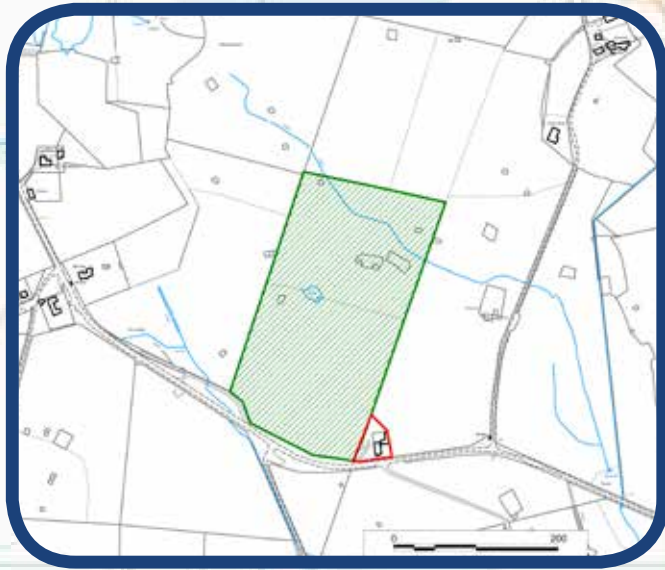
Development Timescale: Short (1-5 years)

Site Progress: Planning Permission Granted on Site

2017/201/PPF - Build a detached storey and a half four bedroom residential house with garage.

Site: SM025

Site Address: Hamarsenn, Dunrossness



Site Details
 Site Area (ha): 5.54
 Current Use: Grazing
 Proposed Use: Housing
 Site Ownership: Martin Burgess

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. The site has development potential for small scale development.
 A buffer will be required around watercourses.
 If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

There are no public sewer within the area so comment regarding connection to public sewer can be removed. 150 SI water main just outside south west corner of site.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM026

Site Address: Spiggie, Dunrossness



Site Details

Site Area (ha): 0.66

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Martin Burgess

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. The site has development potential for small scale development.

A buffer will be required around watercourses. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Updated Scottish Water Comments as of November 2016

There is no public sewer within the area so comment regarding connection to public sewer can be removed.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM027

Site Address: Upper Kjurkhill, Easter Quarff



Site Details
 Site Area (ha): 0.22
 Current Use: Crofting Land
 Proposed Use: Housing
 Site Ownership: MR J. J Wilson & Mrs H S Wilson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.
 Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.
 Any development on this site will be required to have adequate access, parking and circulation layout.
 Contact the Council Roads Service for information.
 If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM028

Site Address: Hall, Easter Quarff



Site Details

Site Area (ha): 0.11

Current Use: Crofting Land

Proposed Use: Housing

Site Ownership: MR J. J Wilson & Mrs H S Wilson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. In the absence of a public sewer, the site has potential only for small scale development. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

There are no public sewer within the area so comment regarding connection to public sewer can be removed. 2" PVC water main runs along south boundary of site.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: WM001

Site Address: Nesbister, Whiteness



Site Details
 Site Area (ha): 2.48
 Current Use: Agriculture & Housing
 Proposed Use: Housing
 Site Ownership: GB & AM Anderson

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site. All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Surface water drainage appraisal will be required.

Updated Scottish Water Comments as of November 2016

4" AC water main and sewer runs along inside of west boundary of site.

Development Timescale: Short (1-5 years)

Site Progress:

- 2013/024/PPF - Erect dwellinghouse
- 2013/055/PPP - Erect three dwellinghouses (Planning Permission in Principle)
- 2013/133/PPF - Install surface water open ditches and install sewer pipe connection for housing (partly in retrospect)
- 2013/243/PPF - Erect dwellinghouse and integral garage
- 2015/134/VCON - To vary condition 1 of planning permission 2013/024/PPF (retrospective); to increase roof pitch to 40 degrees; increase lounge wall by 1m and fit with clerestory glazing and lower finished floor level
- 2017/183/PPF - Erect dwelling house with air source heat pump
- 2018/229/PPF - Erection of 3 dwellinghouses with air source heat pumps

Site: WM002

Site Address: Hellister, Weisdale



Site Details
 Site Area (ha): 0.89
 Current Use: Agriculture
 Proposed Use: Housing
 Site Ownership: Brian Anderson

Infrastructure Requirements/Constraints

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed. All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Connection can be made to the existing public sewer in Weisdale, but would require to be pumped.

Development Timescale: Short (1-5 years)

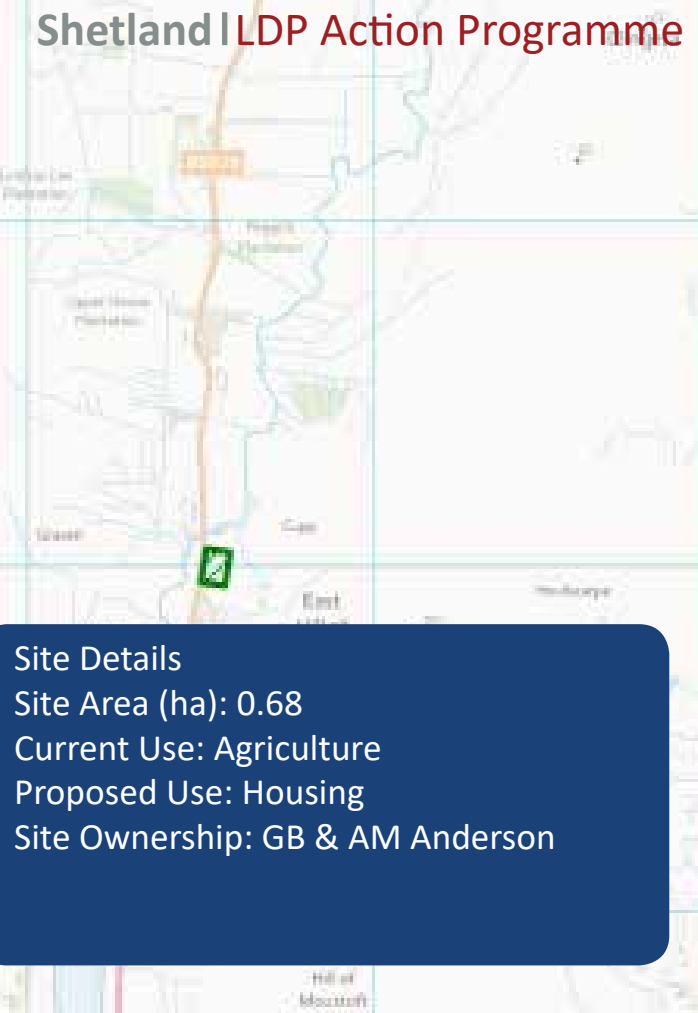
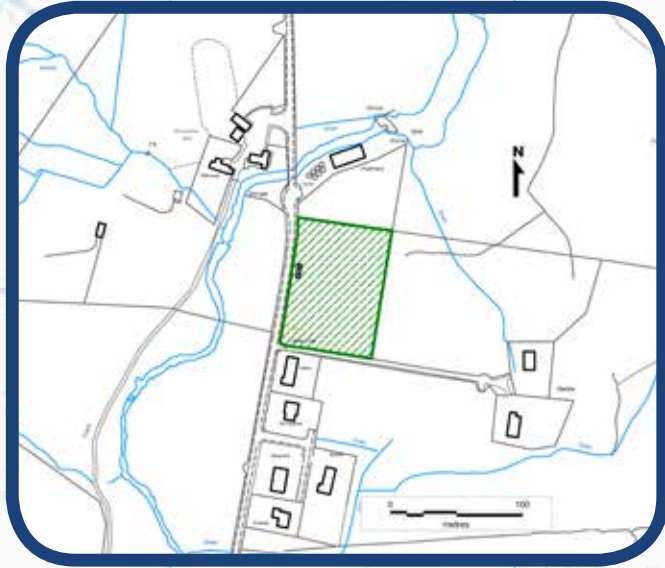
Site Progress:

Planning Permission Granted on Site

2015/333/PPF - To erect detached garage and workshop

Site: WM003

Site Address: Gardie, Weisdale



Site Details

Site Area (ha): 0.68

Current Use: Agriculture

Proposed Use: Housing

Site Ownership: GB & AM Anderson

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Any development in this area must connect to the public sewer.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Public sewer is approximately 400m away and connection would be required to be pumped.

Water infrastructure within 150m of site.

Development Timescale: Short (1-5 years)

Site Progress:

Planning permission granted

2017/062/PPF - Change of Use to convert former Ker-gord Fish Hatchery into bookshop. Works include the refurbishment of the existing building, replace external doors, windows and paint the exterior of the property. On site landscaping to create additional car parking.

Site: WM004

Site Address: Kirkadale, Walls



Site Details

Site Area (ha): 0.4

Current Use: Grazing

Proposed Use: Housing

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Connection to public sewer could be made through manhole to south west of Kirkadale houses, to avoid going through properties' gardens.

5" uPVC water main runs along inside of west boundary of site.

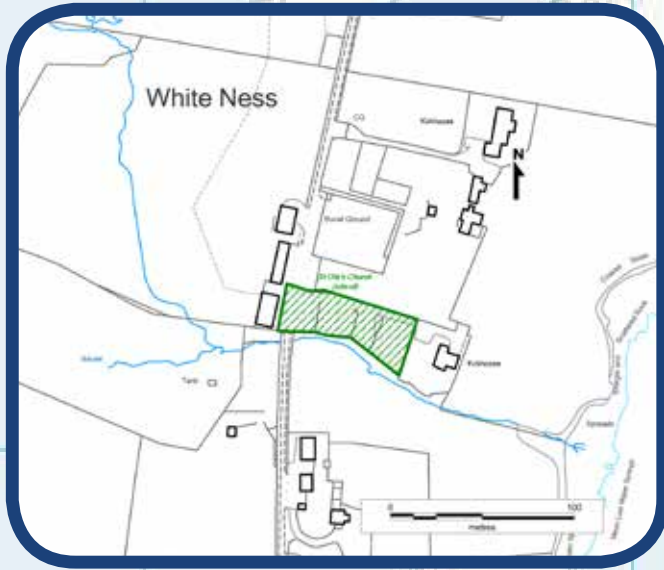
Development Timescale: Long (10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: WM005

Site Address: Kirkhouse, South Whiteness



Site Details
 Site Area (ha): 0.18
 Current Use: Storage
 Proposed Use: Housing
 Site Ownership: Hunter & Morrisons

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Major new (or significant upgrading of) wastewater infrastructure will be required in order to accommodate development on this site. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. In the absence of a public sewer, the site has potential only for small scale development. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. There is high risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information. Site is adjacent to a Sites of Special Scientist Interest contact Scottish Natural Heritage for more information.

Updated Scottish Water Comments as of November 2016

There are no public sewer within the area - nearest point of connection would be Wormaldale, 2.5 km away, so comment regarding connection to public sewer can be removed.
 2" AC water main runs across site and may require diversion, depending on site layout.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: WM006

Site Address: Breck, South Whiteness



Site Details

Site Area (ha): 0.29

Current Use: Land not used

Proposed Use: Housing

Site Ownership: Hunter & Morrisons

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Major new (or significant upgrading of) wastewater infrastructure will be required in order to accommodate development on this site.

If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

There are no public sewer within the area - nearest point of connection would be Wormadale, 1.4 km away, so comment regarding connection to public sewer can be removed.

3" AC water main runs along the inside of the west boundary of the site.

Development Timescale: Short (1-5 years)

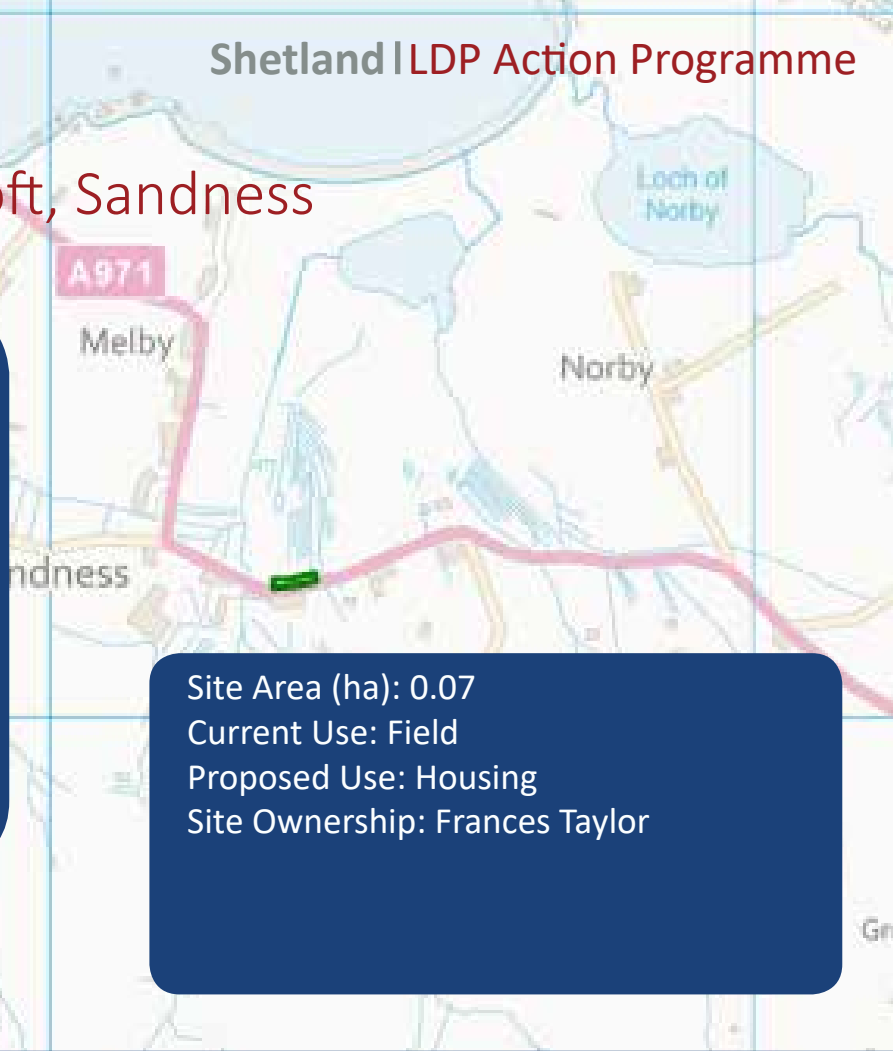
Site Progress:

Planning Permission Granted on Site

2015/036/PPF - To erect 2 no. dwellinghouses; create new access and install new sewage treatment plant with soakaway

Site: WM007

Site Address: Gardens Croft, Sandness



Site Area (ha): 0.07
 Current Use: Field
 Proposed Use: Housing
 Site Ownership: Frances Taylor

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.
 Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Strong possibility that any connection to public sewer would require to be pumped from this site.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: WM008

Site Address: Aith Hall



Site Details

Site Area (ha): 1.17

Current Use: Affordable housing on the site (10 units)

Proposed Use: Housing

Site Ownership: Hjaltland Housing Association

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

This proposed site is within 250m of a listed building, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors: design, layout, density and setting when developing detailed proposals.

Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Site already developed.

Development Timescale: Long (10+ years)

Site Progress:

Planning Permission Granted on Site

2014/014/PPF - Erect 8 affordable dwellinghouses (4 semi-detached units); create associated road, parking and drainage

Site: WM009

Site Address: Whitelaw Road, Aith

The Dudd



Site Details

Site Area (ha): 1.5

Current Use: No detail given

Proposed Use: Housing

Site Ownership:

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Updated Scottish Water Comments as of November 2016

Wastewater infrastructure within 100m of site. Existing public sewer would be connectable, although site very flat and may have to install a long gravity section to connect.

Development Timescale: Long (10+ years)

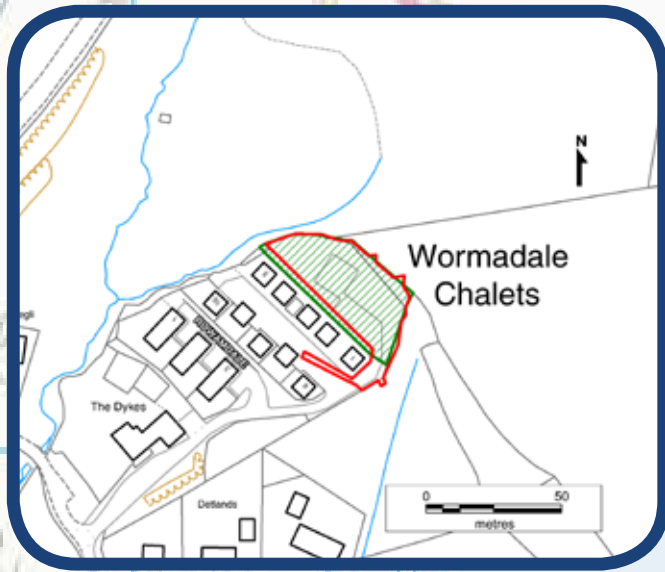
Site Progress:

Planning Permission Granted on Site

2013/109/PPF - To form new access road including burn crossing and protective measures to sides of burn, erection of new house and wind turbine, foul drainage connection to existing public sewer

Site: WM010

Site Address: Wormadale, Whiteness



Site Details

Site Area (ha): 0.13

Current Use: Garage/Store and waste garden ground

Proposed Use: Housing

Site Ownership: DITT Lerwick

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2018/089/PPF - Erect 4 number one bedroom dwellings accessed from an existing upgraded and extended private access road with associated car parking and landscaping

Site: WM011

Site Address: Wormadale, Whiteness



Site Details

Site Area (ha): 0.15

Current Use: Garage/Store and waste garden ground

Proposed Use: Housing

Site Ownership: Andrew G S Morrison

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Development Timescale: Short (1-5 years)

Site Progress: Planning Permission Granted on Site 2013/300/PPF - To demolish existing redundant building and erect 3 no. dwellinghouses and upgrade access road

Site: WM012

Site Address: Gronnack, Whiteness



Site Details

Site Area (ha): 1.44

Current Use: Rough Grazing

Proposed Use: Housing

Site Ownership: Firm of Grains

Infrastructure Requirements/Constraints

This site is proposed for housing.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Part or all of this site lies beneath the 5m contour.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

A full Design Statement including details of development phasing will be required for this site.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

South west of site would most likely have to be pumped to connect to public sewer.

4" AC Water main and sewer runs along inside of east boundary of site.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

2015/019/PPF - To erect a single storey/split level extension to dwellinghouse

2018/220/PPF - Extension to dwellinghouse and erect decking area



Industrial Sites

Site: LK001

Site Address: Decca Station, Lerwick



Site Details

Site Area (ha): 5.37

Current Use: Agriculture & 2 hectare trailer park

Proposed Use: Industrial

Site Ownership: G.B & A.M Anderson

Infrastructure Requirements/Constraints

The site has potential subject to the south eastern quadrant being reserved for low industry developments that are compatible with the neighbouring residential site.

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

This site has issues regarding access. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

It is an environmental designation the site may contain contaminated land. Contact Environmental Health for more information.

Development Timescale: Short (1-5 years)

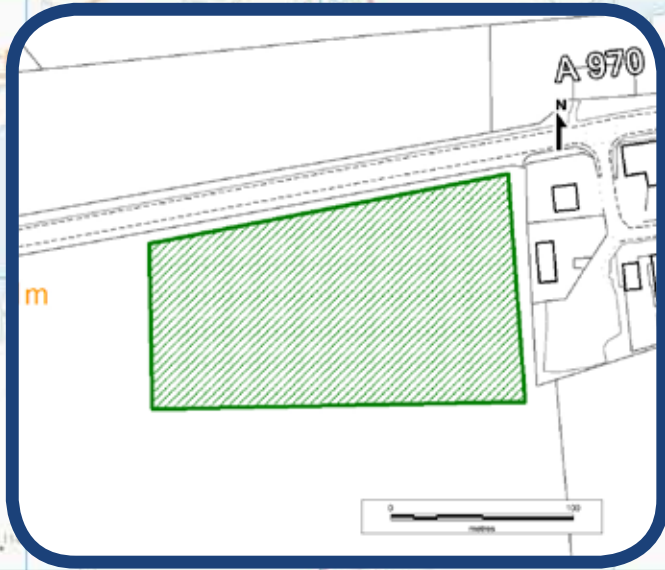
Site Progress:

Planning Permission Granted on Site

2013/094/PPF - To construct hardstanding area

Site: LK002

Site Address: Black Hill Industrial Estate, Lerwick



Site Details
 Site Area (ha): 2.16
 Current Use: Virgin hill ground currently undeveloped & mainly rough grazing / heather.
 Proposed Use: Mixed light industrial use
 Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.
 Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.
 Any development on this site will be required to have adequate access, parking and circulation layout.
 Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Site is at / or above the limit (>50m) of guaranteed water supply, pumping may be required.

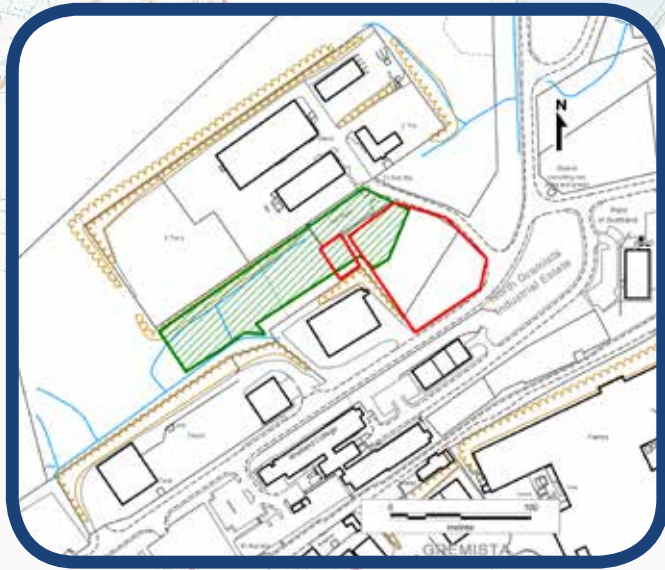
Development Timescale: Medium/ Long (5-10+ years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK003

Site Address: Gremista, Lerwick



Site Details

Site Area (ha): 0.72

Current Use: Mainly unchanged but see note below *

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

180mm HPPE water main runs through the length of this site. The developer should speak to Scottish Water as early as possible to discuss layout of site.

Development Timescale: Short (1-5 years) - (Partial) Medium/Long (5-10+ years) for remainder of site.

Site Progress:

Planning Permission Granted on Site

2017/260/PPF - Extension to yard area (partially retrospective) of workshop currently being built (Planning Ref; 2016/266/PPF)

2016/266/PPF - Construction of workshops, stores and offices with external yard storage, car parking and container storage

Site: LK004

Site Address: Gremista, Lerwick



Site Details

Site Area (ha): 1.29

Current Use: Currently virgin hill ground currently undeveloped & mainly rough grazing

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Only upper part of site could connect by gravity to public sewer. Lower parts would need to be collected and pumped to public sewer.

180mm HPPE water main runs through the length of this site. The developer should speak to Scottish Water as early as possible to discuss layout of site.

Development Timescale: Short (5-10 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019

Site: LK005

Site Address: Rova Head, Lerwick



Site Details

Site Area (ha): 7.82

Current Use: Currently virgin hill ground currently undeveloped & mainly rough grazing

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site. Early discussion with Scottish Water will be required.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Updated Scottish Water Comments as of November 2016

Any connection to public sewer will require pumping, exact scope will depend upon proposed new inlet works at Rova Head WWTP.

Site adjacent to WwTW.

Development Timescale: (1-10 years)

Site Progress:

Planning Permission Granted on Site

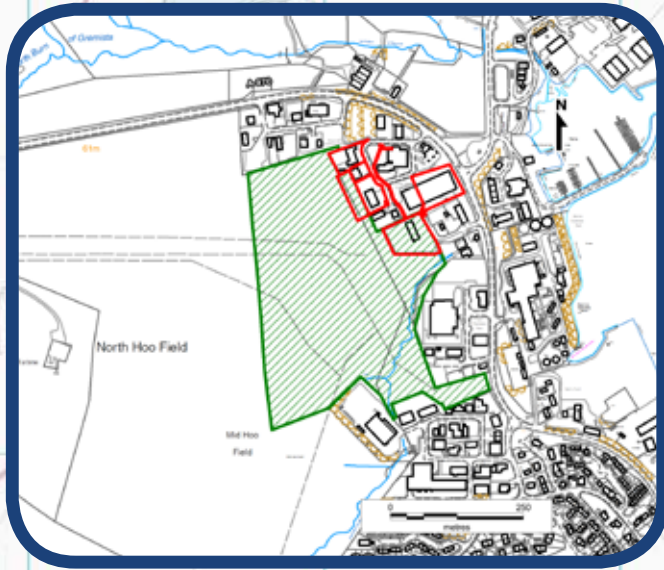
2013/339/ECUCON - Section 36 Application for a Lerwick Power Station

2014/089/PPF - Installation of pipeline between Greenhead Base and the replacement Lerwick Power Station for the transportation of light fuel oil

2015/067/PPF - Change of use of site to allow storage of items and placing of welfare facilities (Retrospective Application)

Site: LK006

Site Address: Black Hill Industrial Estate, Lerwick



Site Details

Site Area (ha): 13.41

Current Use: Currently virgin hill ground currently undeveloped & mainly rough grazing

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

The site may be at risk of flooding and a flood risk assessment (FRA), including a catchment based assessment of drainage, will be required to determine which areas can be developed and to identify the works required.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Development Timescale: Medium/Long (5-10+ years)

Site Progress: Planning Permission Granted on Site

2014/069/PPF - Erect plant maintenance workshop

2014/092/PPF - Site a container to provide welfare and office facility for warehouse business

2014/304/PPF - Change of use of land to hard standing laydown area

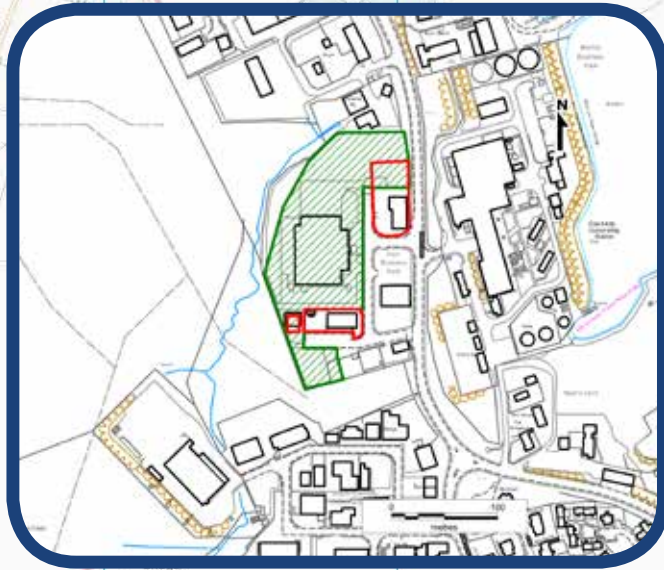
2015/287/ADV - To erect 4 fascia signs (Retrospective Application)

2017/090/PPF - Erect two 50,000 litre external hot water storage tanks, install electric charging point, district heating and electricity supplies including electrical distribution housing, external stairs, security fencing and vehicle parking

2016/251/PPF - Ground excavation works to rear of building to create hardstanding area to be used for storage

Site: LK007

Site Address: Port Business Park, Lerwick



Site Details
 Site Area (ha): 1.6
 Current Use: Mixed light industrial use
 Proposed Use: Industrial - unchanged as current use for developed part of site.
 Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Part or all of this site lies beneath the 5m contour. This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed. Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Site now fully developed, so no need for infrastructure upgrade.

Development Timescale: Short/Medium (1-10 years)

Site Progress: Planning Permission Granted on Site

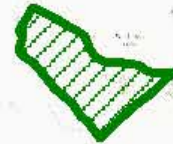
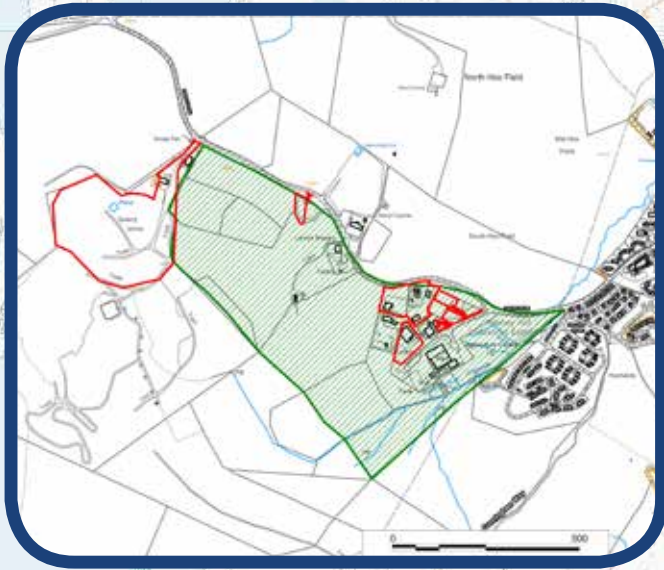
2014/230/PPF - To site rural freight store (Retrospective Application)

2014/256/PPF - To erect industrial building for use as a builders premises (use class 5)

2016/432/PPF - Change of use to Class 6 and erect storage extension.

Site: LK011

Site Address: Staney Hill, Lerwick



Site Details

Site Area (ha): 37.58

Current Use: Mixed

Proposed Use: Industrial

Site Ownership: Shetland Islands Council
- Partially owned by GB AM Anderson

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Updated Scottish Water Comments as of November 2016

Upper, NW part of site may experience water pressure issues, >105m.

Development Timescale: Short/Medium/Long (1-10+ years)

Site Progress: Planning Permission Granted on Site

2012/340/PPF - To erect 5kw turbine on a 12m tower with associated cable track

2013/108/PPF - Extend workshop

2013/200/PPF - To erect 16No. ground mounted solar panels and excavate cable trench to connect array into existing workshop/office building

2013/201/ADV - Erect signs

2013/222/PPF - To continue quarrying activity and associated development and deepening of existing working quarry area

2014/087/PPF - Change of use from open storage area to site containers for storage of scrap materials (retrospective planning application)

2014/346/VCON - Proposed boat storage building and hard-standing. Proposed variation to Planning Permission Ref.

2012/122/PPF; variation to condition 1 to allow for added floor area to building to provide staff amenities and added mezzanine storage; variation to condition 6 to provide two further additional car parking spaces indicated due to additional floor area proposed

2017/130/PPF - To create a self storage facility by siting steel storage containers on an existing site, 2 metre high security fence, access tracks and surface water drainage system

Site: LK014

Site Address: Gremista, Lerwick



Site Details
 Site Area (ha): 1.88
 Current Use: Education
 Proposed Use: Industrial
 Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. There is water infrastructure running through this site, please contact Scottish Water for advice.

Updated Scottish Water Comments as of November 2016
 Site is currently under development and both Water and Sewer (Foul & Surface) infrastructure has now been diverted.

Development Timescale: Long (10+ years)

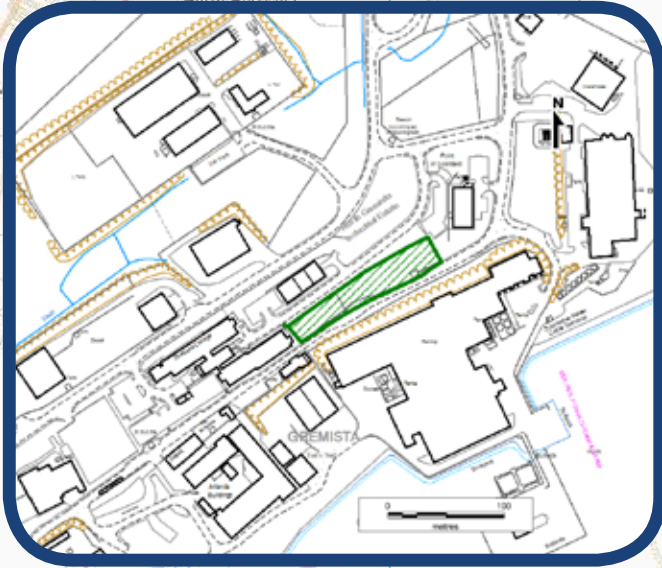
Site Progress:

Planning Permission Granted on Site

2014/186/ADV - Erect sign board

Site: LK018

Site Address: Gremista, Lerwick



Site Details
 Site Area (ha): 0.32
 Current Use: Mainly grassed, but part-surfaced site with access off public road
 Proposed Use: Industrial
 Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is water infrastructure running through this site, please contact Scottish Water for advice.

Updated Scottish Water Comments as of November 2016

6" PVC water main and sewer within site boundary and may require diversion, depending on site layout.

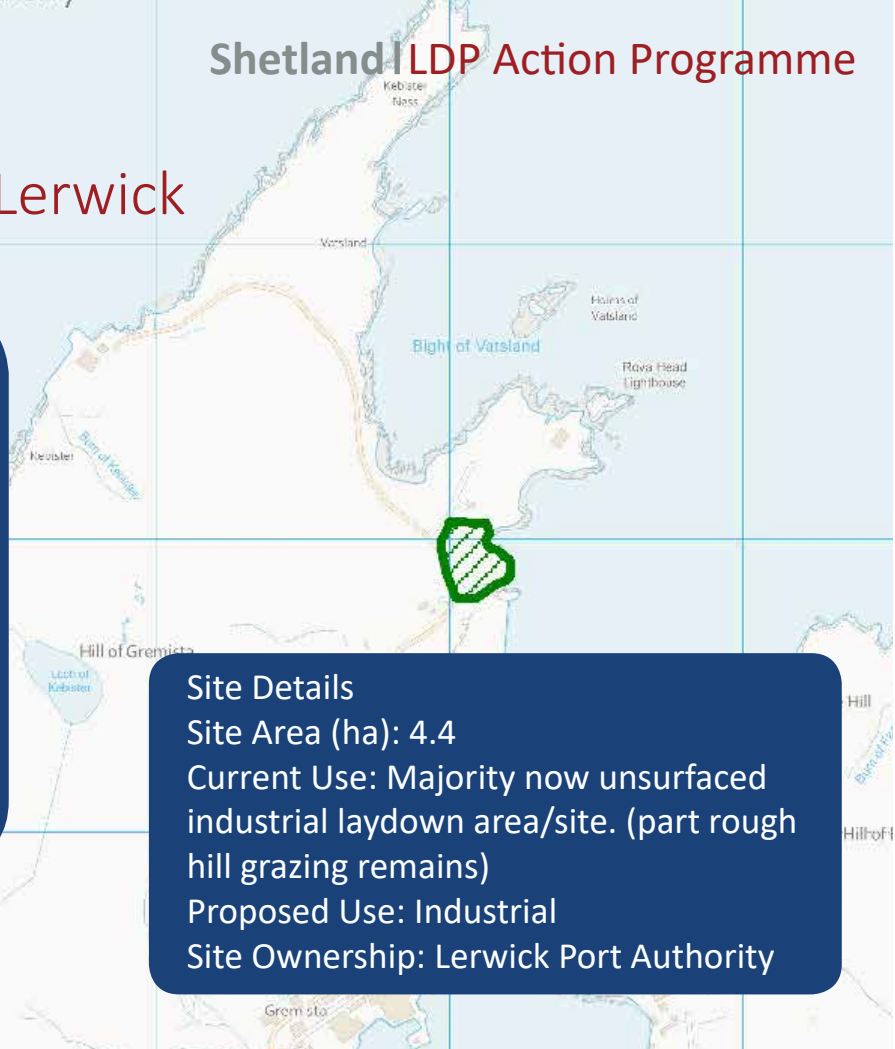
Development Timescale: Short/Medium (1-10 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK019

Site Address: Rova Head, Lerwick



Site Details

Site Area (ha): 4.4

Current Use: Majority now unsurfaced industrial laydown area/site. (part rough hill grazing remains)

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Any development in this area must connect to the public sewer.

Details of water and waste water supply availability should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Part or all of this site lies beneath the 5m contour. Potential odour issues from existing waste water treatment works, early discussion with Scottish Water is advised.

The site may be at risk of flooding and a flood risk assessment (FRA), including a catchment based assessment of drainage, will be required to determine which areas can be developed and to identify the works required.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Any connection to public sewer will require pumping, exact scope will depend upon proposed new inlet works at Rova Head WWTP.

Site adjacent to WwTW.

Development Timescale:

Short (1-5 years) Unchanged for development of remainder of site

Site Progress: Planning Permission Granted on Site

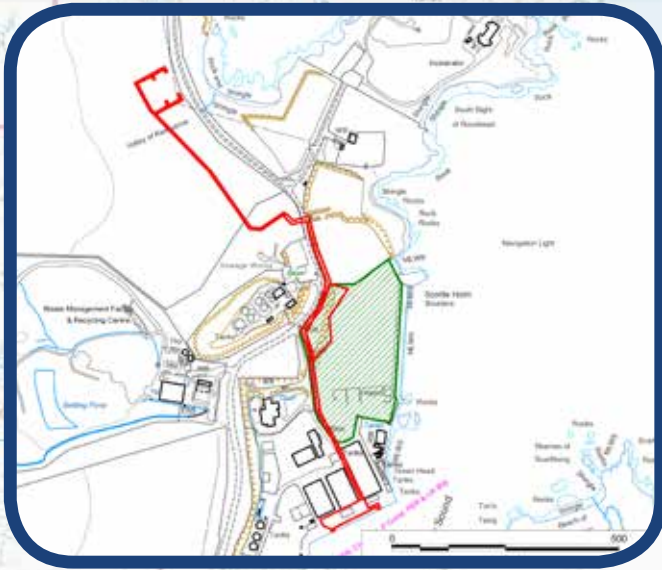
2013/137/PPF - Extend laydown area

2013/339/ECUCON - Section 36 Application for a Lerwick Power Station

2014/089/PPF - Installation of pipeline between Greenhead Base and the replacement Lerwick Power Station for the transportation of light fuel oil.

Site: LK020

Site Address: Rova Head, Lerwick



Site Details

Site Area (ha): 6.18

Current Use: Industrial land / reclaimed land

Proposed Use: Industrial

Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

This site is at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Potential odour issues from existing waste water treatment works, early discussion with Scottish Water is advised.

Part or all of this site lies beneath the 5m contour.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Any connection to public sewer will require pumping, exact scope will depend upon proposed new inlet works at Rova Head WWTP.

Site adjacent to WwTW.

Development Timescale: Short (1-5 years)

Site Progress:

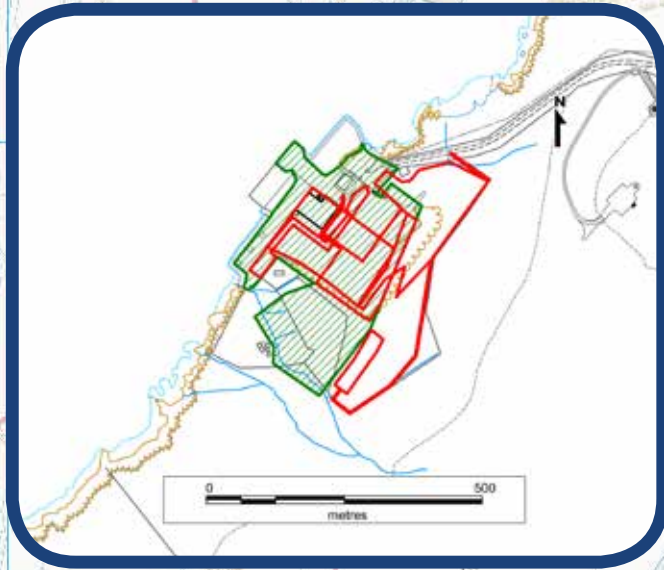
Planning Permission Granted on Site

2013/137/PPF - Extend laydown area

2014/089/PPF - Installation of pipeline between Greenhead Base and the replacement Lerwick Power Station for the transportation of light fuel oil.

Site: LK021

Site Address: Dales Voe, Lerwick



Site Details
 Site Area (ha): 8
 Current Use: Heavy industrial/oil and gas related
 Proposed Use: Heavy Industrial / Oil & Gas related
 Site Ownership: Lerwick Port Authority

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. Arrangements for dealing with waste water should be discussed with SEPA and Scottish Water. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

There is a risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Part or all of this site lies beneath the 5m contour. The site forms part of the catchment of the designated EC shellfish growing waters. Therefore any development must not compromise the relevant water quality standards.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Any connection to the existing public sewer in Lerwick would require considerable investment. Developer should contact Scottish Water to discuss site requirements as early as possible.

Development Timescale: Short (1-5 years) site has been substantially developed to create industrial/ laydown areas.

Planning Permission Granted on Site

2013/265/PPF - Erect warehouse and expand open storage area

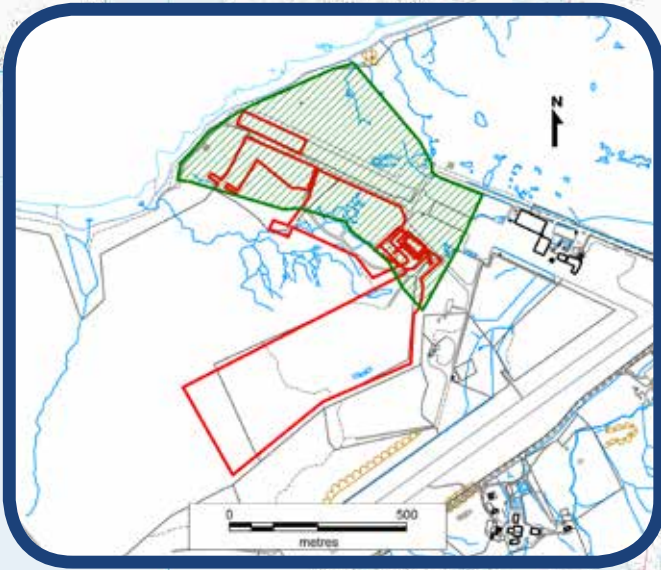
2014/063/PPF - Extend open storage area

2015/110/PPF - To construct site workers accommodation, canteen, laundry, vehicle parking area and holding tank (Retrospective Application)

2018/038/PPF - To develop a decommissioning activities facility

Site: NM004

Site Address: Scatsta



Site Details

Site Area (ha): 26.5

Current Use: Mixed

Proposed Use: Industrial

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

This area is environmental sensitive being adjacent to Sullom Voe SAC.

The proposed site lies within the Scatsta Airport safeguarding area and height restrictions may be imposed. Contact Council Planning Service for further information.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Part or all of this site lies beneath the 5m contour. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

A buffer will be required around watercourses.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

Please note there is evidence of previous military activity within 250m of this site.

Please contact Environmental Health for further details.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

There is no public sewer in the area so comment regarding connection to public sewer can be removed. 1 1/2" AC water main within site boundary, which may require diverting, depending on site layout.

Development Timescale:

Short/Medium/Long (1-10+ years)

Site Progress:

2013/172/PPF - Reinstatement of land by filling inert spoil and soils (extension to existing area)

2014/020/PPF - To extend existing quarry (Retrospective Application)

2014/175/PPF - To improve area of land by importing inert non-hazardous spoil from excavations from construction sites in the Sullom Voe area

2014/382/PPF - To construct a steel portal frame storage shed including a septic tank and soakaway

2015/126/PPF - To change of use of the existing recycling area to include scrap metal recycling as well as general recycling

2017/140/PPF - 12m high lattice mast, 3m headframe, Aviation light, 1.8m high chainlink fence and associated equipment

2017/400/PPF - To change the use of building from storage (class 6) to a mixed use comprising workshop and storage (Class 5 and 6) facilities: to provide access track, 23 car parking spaces and 7 HGV parking spaces; and to remove condition no 8 of permission reference 2014/382/PPF to allow unrestricted use of the building

2018/128/PPF - Change of use of land to class 5

Site: NM005

Site Address: Sellaness



Site Details

Site Area (ha): 11.95

Current Use: Industrial

Proposed Use: Industrial

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. A buffer will be required around watercourses. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

Please note there is evidence of previous military activity within this site. Please contact Environmental Health for further details.

Updated Scottish Water Comments as of November 2016

There is no public sewer in the area. 1 1/2" AC water main within site boundary, which may require diverting, depending on site layout.

Development Timescale:

Short/Medium/Long (1-10+ years)

Site Progress:

Planning Permission Granted on Site

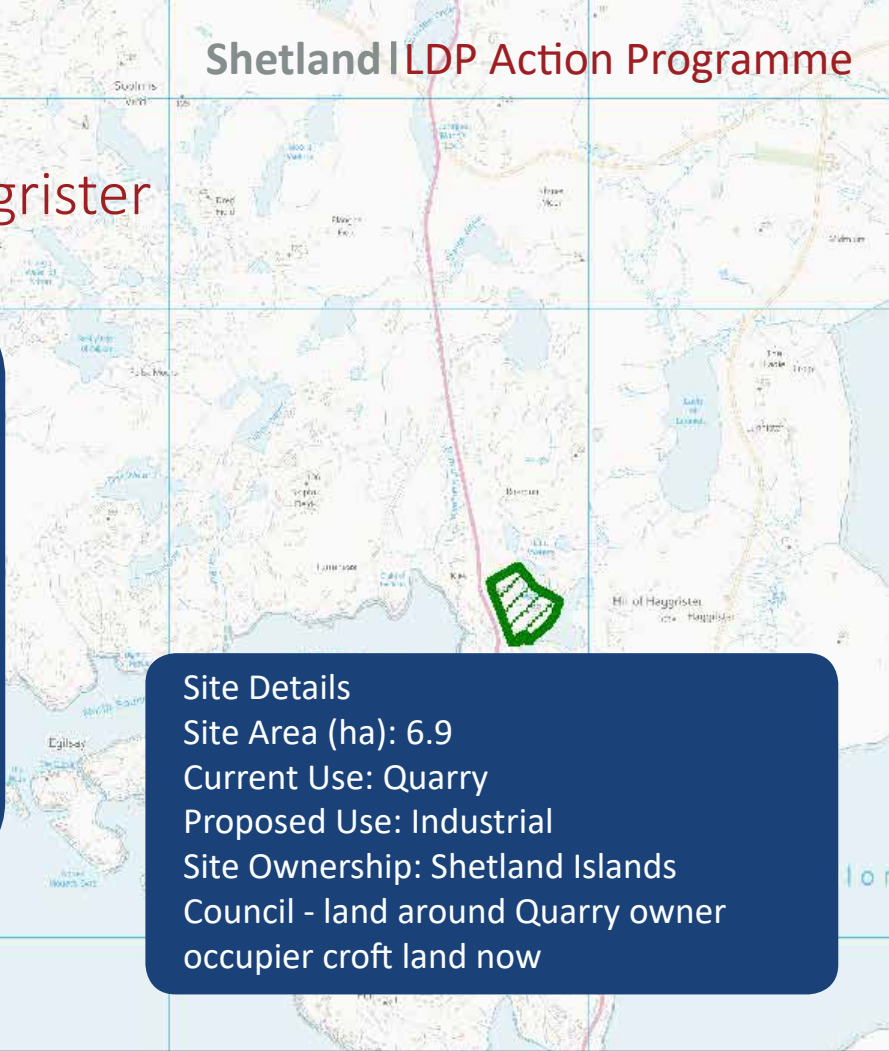
2013/171/PPF - Erect depot

2014/296/PPF - Install temporary cabins to provide an office facility for a period of 5 years; road work improvements (Retrospective Application)

2015/249/PPF - To extend the existing temporary office facility by the addition of cabins to the south west of the existing building and by double stacking the cabins to create a two storey facility; provide further office space, meeting rooms, locker facilities and a canteen

Site: NM013

Site Address: Loch of Haggrister



Site Details
 Site Area (ha): 6.9
 Current Use: Quarry
 Proposed Use: Industrial
 Site Ownership: Shetland Islands Council - land around Quarry owner occupier croft land now

Infrastructure Requirements/Constraints

This site is proposed for industrial use. All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. There is a risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information. If a public sewer becomes available in this area prior to the site being developed, there would be a requirement to connect.

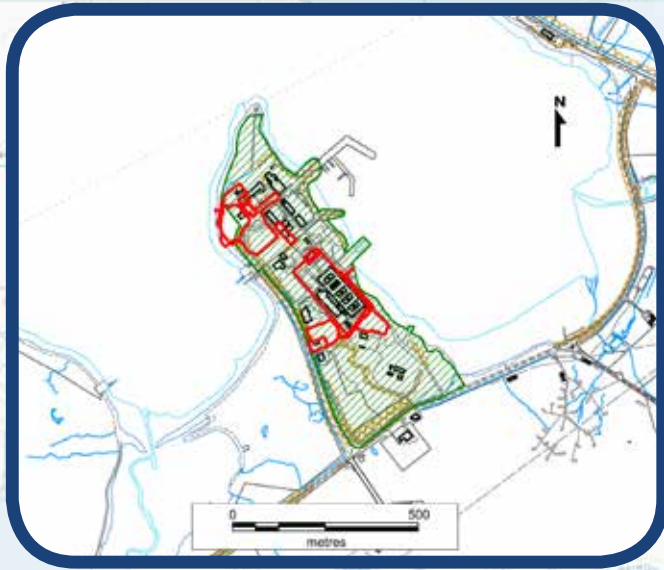
Updated Scottish Water Comments as of November 2016
 There is no public sewer in this area so comment regarding connection to the public sewer can be removed. 400mm DI trunk water main runs alongside west site boundary, however water connection would not be permitted from this pipe. Connection would be available from existing 2" AC main to Mangaster.

Development Timescale: Long (10+ years)

Site Progress:
 There has been no development(s) approved on site as of 31/03/2019.

Site: NM020

Site Address: Sellaness



Site Details

Site Area (ha): 20.59

Current Use: Emp

Proposed Use: Industrial

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

The proposed site lies within the Scatsta Airport safeguarding area and height restrictions may be imposed. Contact Council Planning Service for further information.

Should not conflict with existing development on the site.

Proposed site adjacent to Sullom Voe SAC.

Part or all of this site lies beneath the 5m contour.

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Development Timescale: Long (10+ years)

Site Progress:

Planning Permission Granted on Site

2012/366/PPF - Demolition of a former helicopter hangar, extension of an existing hammerhead turning head to allow for emergency vehicle access. Erection of a new 2 storey office block to accommodate workers,

Sellaness Industrial Estate, Sellaness, Mossbank, Shetland for BP Exploration Operating Company.

(Temporary for a period of 13 years)

2013/012/PPF-Installation of 220kw biomass boiler system with associated fuel store and flue system

2013/215/PPF-New carpark accommodating 101 standard spaces

2013/223/PPF- Erect a 2.4 metre high security fence

2014/109/VCON - Section 42 application to vary the terms on condition 4 of planning permission 2010/256/PCD

2014/205/PPF - To site 2no. portacabins for office use

2014/220/PPF - To erect workshop and office for car rental company

2015/163/PPF - To construct a temporary office and locker facilities

2017/207/PPF - To alter and extend existing buildings to provide a new emergency response facility, refurbish existing warehouse to provide workshop and warehouse facilities, construct new equipment storage building and construct new site entrance

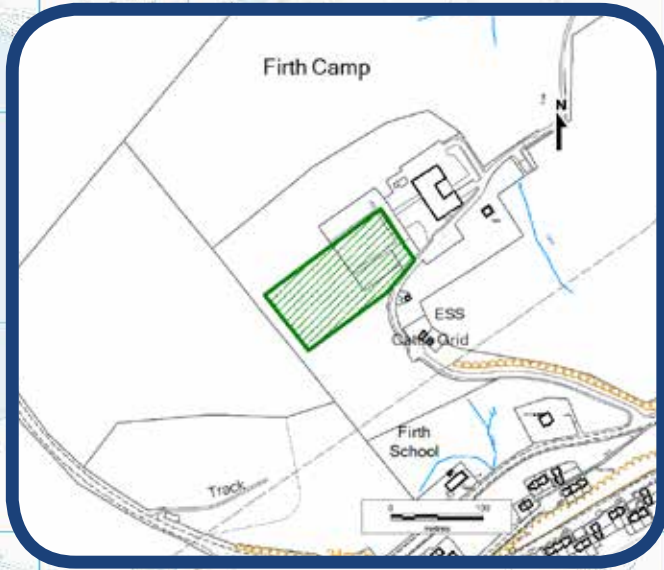
2017/406/PPF - To erect 2 storey office block, sewage treatment plant and car parking area



Mixed Use Sites

Site: NM008

Site Address: Firth Camp



Site Details
 Site Area (ha): 1.14
 Current Use: Allotments
 Proposed Use: Allotments
 Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Updated Scottish Water Comments as of November 2016

Building above 60m would put property in low pressure category.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: SM019

Site Address: Scatness, Dunrossness



Site Details
 Site Area (ha): 1.45
 Current Use: Cattle/sheep grazing
 Proposed Use: Housing or Industrial
 Site Ownership: Black & Budge Ltd

Infrastructure Requirements/Constraints

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed. Please note there is evidence of previous military activity within 250m of this site. Please contact Environmental Health for further details. This proposed site is within 250m of a Scheduled Monument, please contact the Shetland Amenity Trust prior to progressing with this development to ensure the setting of the Scheduled Monument is not compromised. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information. The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied –

contact Highlands and Islands Airport Ltd (HIAL) for more information. Part or all of this site lies beneath the 5m contour. Further guidance on flood risk for this site is provided in the Council’s Strategic Flood Risk Assessment.

Development Timescale: Short (1-5 years)

Site Progress:

Planning Permission Granted on Site

- 2015/039/PPF - To erect 2 no. extensions to existing workshop buildings
- 2015/183/PPF - Change of use of land from agricultural to industrial (retrospective)

Site: BR002

Site Address: Ham, Bressay



Site Details

Site Area (ha): 0.8

Current Use: Crofting

Proposed Use: Mixed Use

Site Ownership: Theo Smith

Infrastructure Requirements/Constraints

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

The site has development potential for small scale development.

A buffer will be required around watercourses.

Any development in this area must connect to the public sewer. Major new (or significant upgrading of) wastewater infrastructure may be required in order to accommodate development on this site.

Details of water supply availability and sewerage infrastructure should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout.

Contact the Council Roads Service for information.

Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment

Updated Scottish Water Comments as of November 2016

Any new development on this site would require waste to be pumped to the existing septic tank, approximately 700m away.

2" AC water main diagonally crosses site, which may require diversion, depending on site layout.

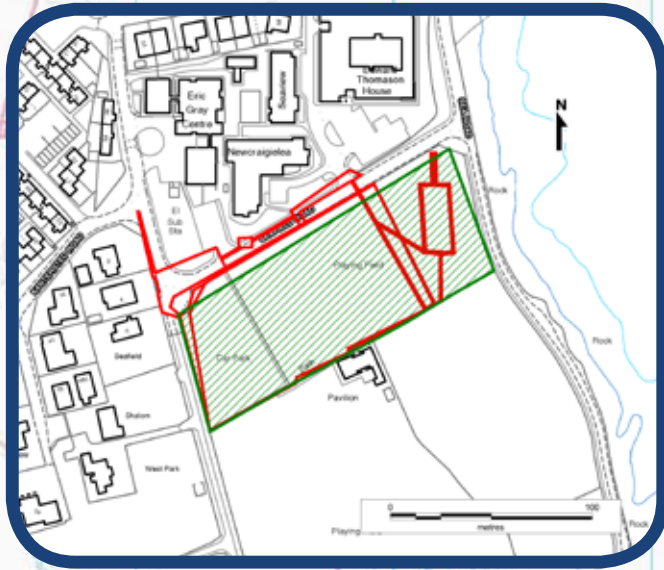
Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019.

Site: LK010

Site Address: Seafield, Lerwick



Site Details
 Site Area (ha): 0.97
 Current Use: Eric Gray Centre
 Proposed Use: Mixed Use
 Site Ownership: Shetland Islands Council
 - Area now developed

Infrastructure Requirements/Constraints

This site may be at risk of flooding and a flood risk assessment (FRA) will be required to determine which areas of the site, if any, can be developed. All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved. Any development in this area must connect to the public sewer. Details of water supply availability and sewerage infrastructure should be sought from Scottish Water. Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information. Part or all of this site lies beneath the 5m contour. There are capacity issues in the drainage network at the south-west end of Lerwick potentially affecting this site. Further guidance on flood risk for this site is provided in the Council's Strategic Flood Risk Assessment.

Updated Scottish Water Comments as of November 2016

Upper part of site would be able to connect to existing sewer by gravity. Lower part would have to be pumped to existing network.

Please Note: there is limited capacity within the drainage network at this end of Lerwick. Developer should contact Scottish Water to discuss site requirements as early as possible.

Development Timescale: Long (10+ years)

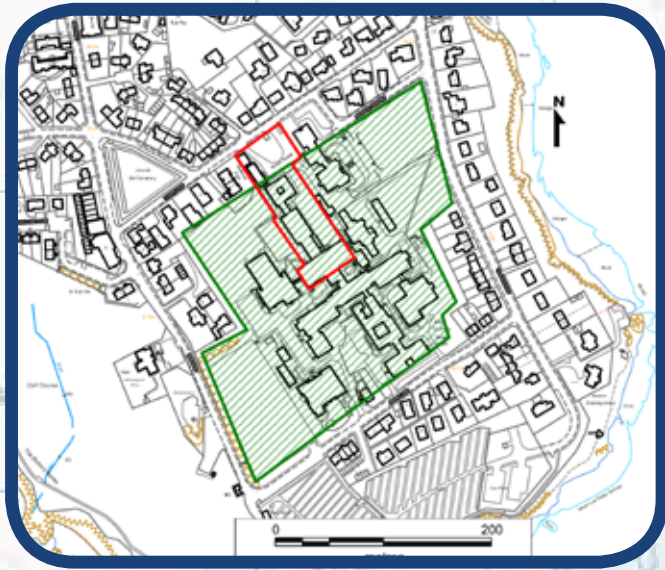
Site Progress:

Planning Permission Granted on Site

- 2014/281/VCON - To vary condition 4 of planning permission 2011/103/PCO, to extend the period that is allowed to submit the approval of matters specified in conditions for another 3 years
- 2014/363/PPF - To create a mini roundabout; create turning head; various services connections below ground serving proposed building described in approved application 2014/281/VCON
- 2014/364/AMSC - Application of matters specified in conditions 5 and 7 of Planning Permission Ref. 2014/281/VCON

Site: LK015

Site Address: Anderson High School



Site Details

Site Area (ha): 5.33

Current Use: Education

Proposed Use: Mixed Use

Site Ownership: Shetland Islands Council

Infrastructure Requirements/Constraints

A full Design Statement including details of development phasing will be required for this site.

All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.

Any development in this area must connect to the public sewer. Details of water supply availability should be sought from Scottish Water.

Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.

There is low risk of archaeology in this area, please contact the Shetland Archaeologist at the Shetland Amenity Trust for further information.

This proposed site is within 250m of a number of listed buildings, please contact the Heritage Section prior to progressing with this development to ensure this historic setting is not compromised. Consideration should be given to the following factors:

design, layout, density and setting when developing detailed proposals.

This proposed site is within 250m of a Scheduled Monument, please contact the Shetland Archaeologist at the Shetland Amenity Trust prior to progressing with this development to ensure the setting of the Scheduled Monument is not compromised.

Development Timescale: Long (10+ years)

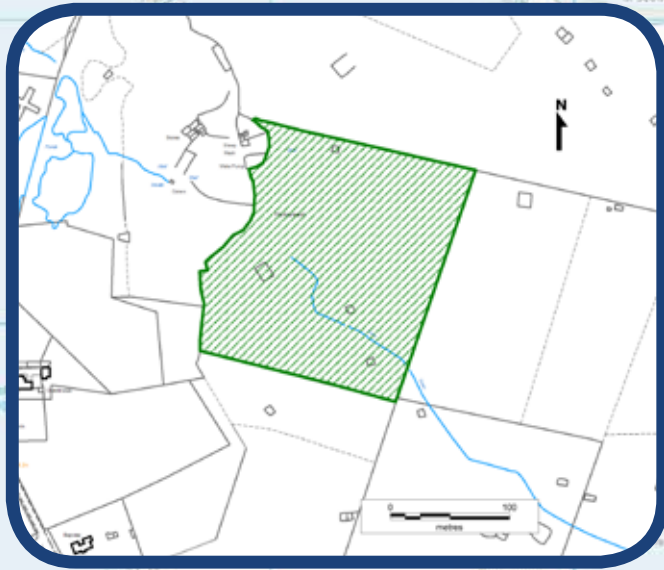
Site Progress:

A Masterplan has been adopted for this site.
Planning Permission Granted on Site

2018/061/PPF - To change use of part of building from class 10 to class 2 offices for a temporary period expiring 31 December 2018 (retrospective application)

Site: SM024

Site Address: Whilligarth, Dunrossness



Site Details
 Site Area (ha): 3.56
 Current Use: Grazing
 Proposed Use: Wind turbines
 Site Ownership: Martin Burgess

Infrastructure Requirements/Constraints

Some capacity for small scale domestic wind turbine development.
 A buffer will be required around watercourses.
 Any development on this site will be required to have adequate access, parking and circulation layout. Contact the Council Roads Service for information.
 All development must conform to the appropriate policies set out in the Shetland Local Development Plan and related Supplementary Guidance when approved.
 The site lies within the CAA Sumburgh Airport safeguarding area – height restrictions may be applied – contact Highlands and Islands Airport Ltd (HIAL) for more information.

Development Timescale: Short (1-5 years)

Site Progress:

There has been no development(s) approved on site as of 31/03/2019

Sites list:

Residential Sites

South Mainland

Site	Address	Page
SM001	Stove, Sandwick	40
SM002	Dalsetter, Dunrossness	41
SM003	Heathery Park, Gulberwick	42
SM004	Hillside, Gulberwick	43
SM005	Quee, Cunnings-burgh	44
SM006	Flugalee, Cunnings-burgh	45
SM007	Upswall, Wester Quarff	46
SM008	Upper Couster, Quarff	47
SM009	Horseshoe Close, Virkie, Dunrossness	48
SM010	Spiggie Lodge, Scousburgh, Dunrossness	49
SM011	Stove, Sandwick	50
SM012	Stove, Sandwick	51
SM013	Whilfigarth, Stove, Sandwick	52
SM014	Hay Green, Stove, Sandwick	53
SM015	Land adjacent to Sandwick Junior High School	54
SM016	Land behind Bigton Shop, Dunrossness	55
SM017	Hestingott, Toab, Dunrossness	56
SM018	Scatness, Dunrossness	57
SM020	Toab, Virkie, Dunrossness	58
SM021	Aithsetter, Cunningsburgh	59
SM022	Ellangowan, Gulberwick	60
SM023	Scatness, Dunross-ness	61
SM025	Hamarsenn, Dunross-ness	62
SM026	Scousburgh, Dunross-ness	63
SM027	Upper Kjurkhill, Easter Quarff	64
SM028	Next to Hall, Easter Quarff	65

Lerwick & Bressay

Site	Address	Page
BR001	East Ham, Bressay	5
LK008	Oxlee, Lerwick	14
LK009	Lower Sound, Lerwick	15
LK012	Staneyhill, Lerwick	16
LK013	Norstane, Lerwick	17
LK016	Lerwick Observatory, Lerwick	18
LK017	Lower Sound, Lerwick	19

Central Mainland

Site	Address	Page
CL001	Sundibanks, Scalloway	6
CL002	Sundibanks, Scalloway	7
CL003	Strand, Greenwell, Gott	8
CL004	Veensgarth, Tingwall	9
CL005	Veensgarth, Tingwall	10
CL006	Northouse Croft, Bridge End, Burra	11
CL007	House, Bridge End, Burra	12
CL008	Old School Road, Trondra	13

West Mainland

Site	Address	Page
WM001	Nesbister, Whiteness	66
WM002	Hellister, Weisdale	67
WM003	Gardie, Weisdale	68
WM004	Kirkadale, Walls	69
WM005	Kirkhouse, South, Whiteness	70
WM006	Breck, Whiteness	71
WM007	Gardens Croft, Sandness	72
WM008	Aith Hall, Aith	73
WM009	Whitelaw Road, Aith	74
WM010	Wormadale, Whiteness	75
WM011	Wormadale, Whiteness	76
WM012	Gronnack, Whiteness	77

North Mainland

Site	Address	Page
NM001	The Houllands, Brae	24
NM002	Roebrek, Brae	25
NM003	Burravoe, Brae	26
NM006	Firth	27
NM007	Upper Lea, Firth	28
NM009	Maidenfield, Mossbank	29
NM010	Braehead, Mossbank	30
NM011	Bankhead, Mossbank	31
NM012	Hall, Mossbank	32
NM014	Hall Park, Vidlin	33
NM015	Busta, Brae	34
NM016	Hillside, Voe	35
NM017	Stucca, Hillswick	36
NM018	Stucca, Hillswick	37
NM019	Valladale, Urafirth	38
NM021	Railsbrough, South Nesting	39

North Isles

Site	Address	Page
NI001	Ulsta, Yell	20
NI002	Ulsta, Yell	21
NI003	Setter, West Yell, Yell	22
NI004	Burravoe, Yell	23

Industrial Sites

South Mainland

Site	Address	Page
SM019	Scatness, Dunrossness	97

Lerwick & Bressay

Site	Address	Page
LK001	Former Decca Station, Lerwick	79
LK002	Blackhill Industrial Estate, Lerwick	80
LK003	Gremista Industrial Estate, Lerwick	81
LK004	Gremista Industrial Estate, Lerwick	82
LK005	Rova Head, Lerwick	83
LK006	Black Hill Industrial Estate, Lerwick	84
LK007	Port Business Park, Lerwick	85
LK011	Staneyhill, Lerwick	86
LK014	Gremista Industrial Estate, Lerwick	87
LK018	Gremista Industrial Estate, Lerwick	88
LK019	Rova Head, Lerwick	89
LK020	Rova Head, Lerwick	90
LK021	Dales Voe, Lerwick	91

North Mainland

Site	Address	Page
NM004	Scatsta	92
NM005	Sellaness	93
NM013	Loch of Haggriester, Sullom	94
NM020	Sellaness	95

Mixes Use Sites

South Mainland

Site	Address	Page
SM024	Hamarsenn, Whilliegarth, Dunrossness	101

Lerwick & Bressay

Site	Address	Page
BR002	Ham, Bressay	98
LK010	Seafield, Lerwick	99
LK015	Anderson High School, Lerwick	101

North Mainland

Site	Address	Page
NM008	Firth Camp	96



Shetland
Islands Council

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